



2024 SUMMERLAND RODEO GROUNDS MASTER PLAN

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Final Draft

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1. EXECUTIVE SUMMARY

The District of Summerland (the 'District') 2023 Summerland Rodeo Grounds (the 'park') Master Plan (the 'master plan') provides direction for the overall management of the park for the next 15 years. The master plan was initiated by the District of Summerland's commitment to the 2018 Parks and Recreation Master Plan which provides strategic direction to the District regarding park use, facilities and services. One of the recommendations from the 2018 report is to undertake a master plan for the park, exploring community needs and possible uses for the site, service requirements, costs and possible operating arrangements.

The master plan establishes a framework for the District's Parks & Recreation decision-making with respect to park operations and maintenance, and it provides a strategic approach to park development and capital investment. The master plan underscores the District's commitment to public involvement and sets out avenues for community partners to participate in park activities.

The outcomes of the master plan are to:

- Provide a long-term vision for the property
- Provide staff with direction on property operations and management
- Provide recommendations for operational requirements and capital investments, including costing over the next 15 years

The master plan's Vision conveys the desired future for this important natural area park; the Vision reads:

The Summerland Rodeo Grounds Park aims to protect and enhance this historically, culturally, and environmentally endowed property by remaining true to the equestrian roots of the site, creating spaces for community events and activities, and ensuring a light ecological footprint to all existing and proposed amenities.

Six strategic goals have been developed with associated objectives which in turn become components of the master plan. The strategic goals for the park future development are as follows:

1 - Ensure and retain public access to local equestrian training and event facilities

2 - Create an ecologically diverse park with greater environmental resiliency

3 - Service a wide range of uses primarily focused on outdoor activities considering equestrian groups and beyond

4 - Develop a park and plan with more economical self-sufficiency

5 - Provide for the safety and comfort of all users and visitors to the site

6 - Contribute positively to the District of Summerland and adjacent communities

These articulate specific directions necessary to achieve the plan's Vision. The core tools to achieve the intent of the master plan include: a Development Plan, a Park Zoning Concept, Operations and Maintenance Plan, and a Development Concept Map and Cost Estimate. The document concludes with a proposed fifteen-year Implementation Program.

There are twenty-nine interrelated components in the Development Plan. The components are categorized into seven distinct zones:

Zone 1 - Preliminary Site Improvements

- 1 - New Primary Water Well
- 2 - Upgraded Transformer and Lighting
- 3 - Upgraded and Expanded Septic Systems
- 4 - Regraded Roads and Parking

Zone 2 - Park Main Entry

- 5 - Enhanced Main Entry Sign and Kiosk
- 6 - Enhanced Trans Canada Trail Trailhead (KVR)
- 7 - Trailhead Parking with Gated Access
- 8 - Improved Garnett Valley Gang Paddock and Barn

Zone 3 - Caretaker & Camping

- 9 - Equine Camping
- 10 - Retain and Maintain Existing Caretaker's Residence

Zone 4 - Equestrian Facilities

- 11 - Riding Ring Upgrades
- 12 - Repairs to the Existing Clubhouse
- 13 - New Clubhouse Deck and Additional Storage Barns
- 14 - Demolition and Removal of Existing Concession Building
- 15 - New Cookshack/Concession
- 16 - Repairs to the Existing Bathroom Building
- 17 - Demolition and Removal of Southern Grandstand
- 18 - Repairs and Paint to the Existing Grandstand
- 19 - New Aluminum Bleachers and Grandstand with Shade
- 20 - Create Defined Flex Spaces/ Parking
- 21 - Install a 60' Round Horse Pen
- 22 - Build Covered Stables and other Shade Structures
- 23 - Install Manure and Compost Area

Zone 5 - Trails & Open Space

- 24 - Upgrades to Existing Trails/ Build New Trails
- 25 - Defined and Clear Access to CMP Trails and TCT
- 26 - Retain the Outdoor Concert Event/Overflow Parking

Zone 6 - Mountain Bike Skills Park

- 27 - Develop a Mountain Bike Skills Area

Zone 7 - Potential Future Multi-Use Area

- 28 - Develop future formalized multi-uses as opportunities arise with further review.

Investment in the Implementation Program of the master plan, including all Development Plan and Operations and Maintenance Plan components is estimated at \$1.58 million, over 15 years.





Figure 1: Location Map

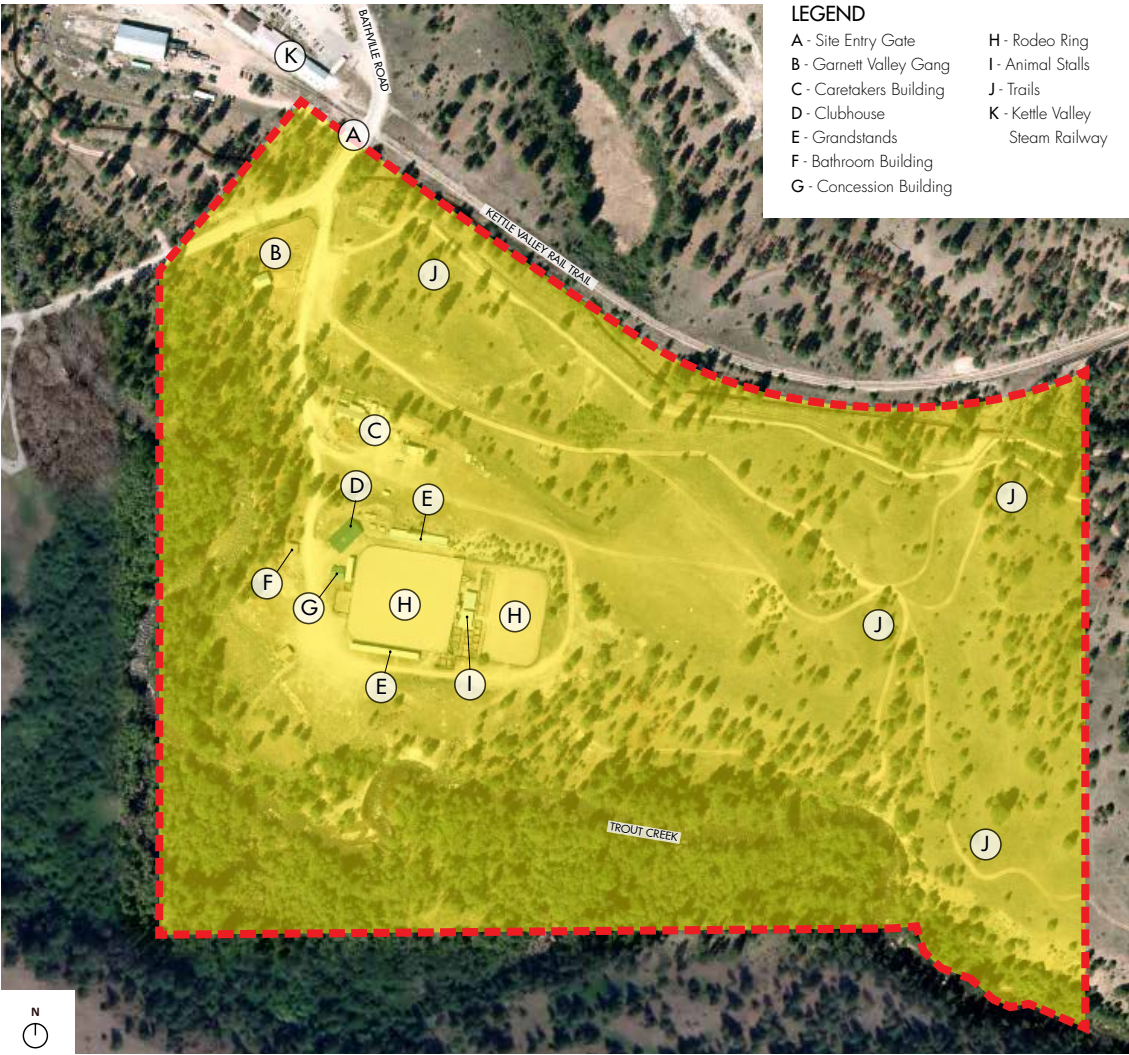


Figure 2: Existing Site Amenities

2. SITE CONTEXT AND EXISTING CONDITIONS

2.1 SITE CONTEXT

The park is located at 18707 Bathville Road, and occupies 73.76 acres of rolling parkland property. The park is bordered to the east by Conkle Mountain Park (CMP), by Trout Creek along the south and west edges and the Trans Canada Trail and Kettle Valley Railway Trail on the north side. The park has long been owned by the District of Summerland, with the operation of the Rodeo Grounds coming under the direction of the Parks and Recreation Department in the mid-1990s and is zoned as Parks and Recreation (PR2). (FIGURE 1&2)

There are working agreements with several groups that use the grounds during the years, for example:

- Summerland Rodeo Grounds Equine Development Committee (SRGEDC)
- Summerland Bluegrass Association
- Animal Lifeline Emergency Response Team (ALERT)
- Endurance Riders Association of BC (ERABC)
- Penticton Pony Club (PPC)
- Garnett Valley Gang
- Kettle Valley Trail Users
- Private equine clinic and events
- Various community rentals and users (weddings, reunions, workshops, races)

In addition to many informal trails, the park includes several existing structures and facilities, including: three outdoor grandstands, both a large and small riding ring, a clubhouse building, concession shack, public washroom, some stabling enclosures, an area to accommodate a self-provided trailer for the on-site caretaker, as well as small storage building.

2.2 STRUCTURAL ANALYSIS REPORT

A structural analysis was done by Ecora in November of 2022. The full report is attached as Appendix 1. A summary of that report is as follows:

Many of the existing buildings in the park are in need of repair and require upgrades to allow continued public use. A field

review was undertaken (limited to a visual non-destructive review) of the following existing structures:

- Log Cabin Storage building
- Exterior Public restrooms
- Concession building
- Public function Hall
- Blue Bleachers (South side of Rodeo)
- West Bleachers
- Large Northern bleachers

Some structures need to be removed or demolished, others repaired and some refitted to meet current building codes and safety requirements. The major recommendations are:

- Immediate closure and demolition of the south (Blue) bleachers
- Immediate closer and demolition of the concession building
- Further investigation into the North Bleachers and the Clubhouse walls
- Consideration of gutters for all buildings to prevent and stop wood rot

The District took immediate steps to ensure public safety by closing off the south bleachers and concession building in May 2023. Other repair work is be dependent on funding and budgetary considerations moving forward.

2.3 SITE SERVICING INFRASTRUCTURE

Through ongoing research and conversations with District staff an understanding of what and how the site is serviced has been summarized below. It should be noted that there is limited as-built information and most investigation work will require on-site inspection or excavation

2.3.1 Site Context

The park is serviced by a main well that is located by the caretakers building and services the caretakers house,

clubhouse, new washrooms, concession building, as well as the KVR railway station. Two additional wells have been drilled for emergency or reserve use but have never needed to be used.

Two other wells are located on site and are part of the larger Summerland Water System that provide a small volume of water to the Trout Creek Flume and eventually the Summerland Reservoir. They are designated "emergency" wells and have never been needed for the Summerland water system.

The main well (1998) is subject to high Iron and Manganese concentrations if/when the well does not turn over. This may lead to increased iron-forming bacteria, resulting in colour, turbidity, total coliform count, and taste and odour complaints.

The high turbidity is being addressed by the creation of a rock pit that keeps the water constantly flowing in order to prevent iron forming bacteria from occurring. Prior to the rock pit, the solution was to keep a faucet constantly running in the clubhouse washroom.

It should be noted that by 2027 the current Trout Creek flume along the north will be culverted. This will align with the district plans to ensure a constant source of water through all seasons to the Summerland Water Treatment Reservoir. Current winter practice is to culvert the water through a system running through the middle of the park. That existing culvert will be decommissioned once the upgraded flume work is completed.

2.3.2 Wastewater & Septic

The park is serviced by two septic tanks and associated fields (Figure 3). The northern system services the caretaker residence, and the size and location of the drain field is unknown. The southern system services the clubhouse and washroom building with a drain field that runs west of the washroom building. The tanks are at capacity and have required periodic pumping out. It is understood that the

southern system sits at a high point above Trout Creek and most likely falls within the established 30m RAPR setback as per Figure 5. Further investigations are recommended and any new septic fields be located away outside of any environmental setback.

2.3.3 Utilities

The site is serviced with single phase overhead power, with emergency phase power to the two emergency wells. Exterior lighting is pole mounted and centered around the caretakers and the riding area. There is no gas service to the site currently and overhead telephone lines do exist.



Figure 3: Existing Site Servicing

2.4 ENVIRONMENTAL CONDITIONS

(Refer to Appendix 2)

The park overlaps an Environmentally Sensitive Development Permit Area (ESDPA), as well as a Watercourse Development Permit Area (WDPA) as described in the District's Official Community Plan (OCP Bylaw No. 2014, 002).

The District DPA guidelines and Terms of Reference (TOR) for Professional Reports and Technical Studies (2019) requires that the Proponent have an environmental assessment completed by a Qualified Environmental Professional (QEP) to address proposed land use changes within a DPA, as defined in the OCP.

A full summary of the environmental assessment, including desktop review, biophysical inventory, sensitivity ranking, and the regulatory requirements is provided in Appendix 2.

2.4.1 Environmentally Sensitive Areas

A preliminary desktop analysis was completed for the park to provide the stratification of communities occurring within the park based on their environmental sensitivity. Environmentally Sensitive Area (ESA) values were developed for each of the ecosystem polygons to ensure a seamless and consistent set of polygons (Figure 5).

2.4.2 Riparian Areas Regulations

The RAPR under the Riparian Areas Protection Act applies to developments within the 30 m Riparian Assessment Area (RAA) of the identified 'Stream Boundary', including streams, lakes, wetlands, and ditches as defined by the RAPR. The RAPR provides prescriptive setbacks for the Streamside Protection and Enhancement Area (SPEA), which includes measures to protect riparian values, including trees and other riparian vegetation. (Figure 6).

2.4.3 Species and Ecosystems at Risk

Ecora conducted a background review of the BC CDC Species and Ecosystems Explorer and the iMapBC web application to identify the Blue- and Red-listed plants, vertebrate, and invertebrate species with potential to occur within or near the Property.

The results of the query were based on the following parameters:

- Regional District Okanagan Similkameen spatial area;
- Ponderosa Pine (PP) BEC Zone;
- Habitat Types: Forest, Riparian; and
- Red and Blue-listed species.

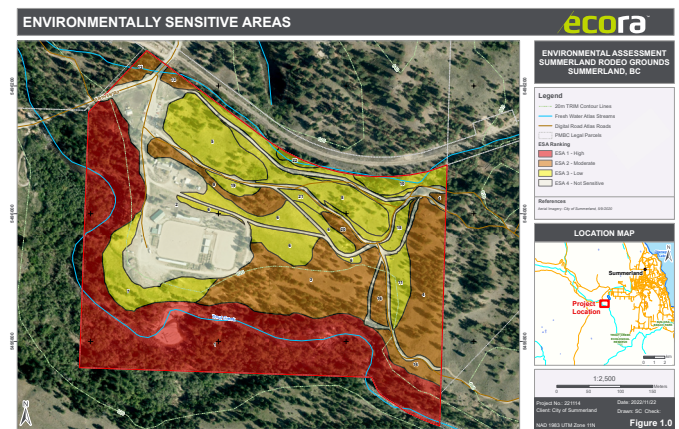


Figure 4: Environmental Sensitive Areas

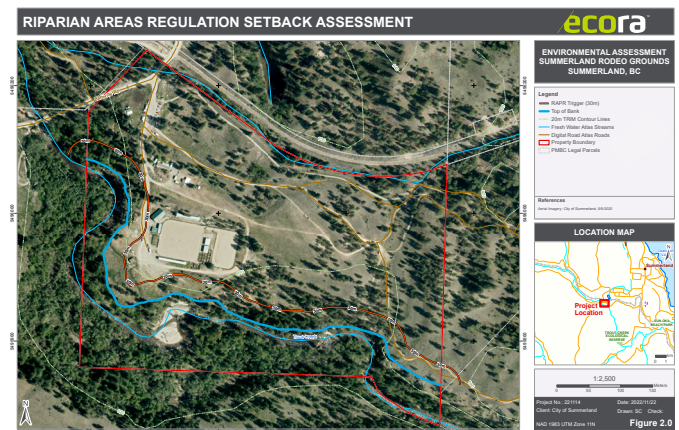


Figure 5: Riparian Area Setback



3. COMMUNITY ENGAGEMENT PROCESS

3.1 OVERVIEW

The public engagement process was fortunate enough to have happened in a post Covid-19 environment which allowed for an in-person engagement option. This was a great opportunity to let the community's voice be heard. Accompanying each in-person event was an on-line survey questionnaire that was open for three weeks after each open house. Respondents could fill the questionnaires out in person at the event but most chose to fill them out at home. This created very thoughtful and useful information as respondents had time to complete each question thoroughly.

Please refer to Appendix 3-6 for the Phase 1 and Phase 2 engagement reports and associated survey answers. The following is a synopsis of those reports:

3.2 ENGAGEMENT RESULTS

3.2.1 Phase 1 Engagement

Preliminary engagement opportunities throughout Phase 1 of consultation were created (using the timeline below) to receive feedback from both District of Summerland Council, Parks and Recreation Advisory Committee, Parks and Recreation staff, key contributor user groups, as well as the public.

October 13, 2022	Project Site Visit
October 18, 2022	Meeting with District Parks and Recreation Advisory Committee
November 23, 2022	Key Contributor Workshop Public Open House
December 1, 2022	Online Survey Opens
December 12, 2022	Report to Council on project status and survey trends
December 15, 2022	Online Survey Closes

Key Contributor Workshop

Primary user groups of the Park as well as several active and regular user groups, identified at the start of the project, were invited to a Key Contributor Workshop. In total, 14 people representing nine different user groups attended the

workshop event. Each group was given an opportunity to discuss their historical relationship with the Park and convey their group's vision and/or concerns regarding any future development of the site.

- S.R.G.E.D.C. (Summerland Rodeo Grounds Equine Development Committee)
- Summerland Bluegrass Association
- A.L.E.R.T. (Animal Lifeline Emergency Response Team)
- E.R.A.B.C (Endurance Riders Association of BC)
- P.P.C. (Penticton Pony Club)
- SRG Site Caretaker

Public Open House

Directly following the contributor workshop, the general public, was invited to attend an open-house information session, which offered an overview of the current site and sought input from the public on visions for the future.

Phase 1 Overview

The park is popular with both local and out of town residents. The facilities are used all year round with the highest use in spring/summer. There seem to be few barriers for people wanting reach the site for an event. Several respondents were unaware of or had never been to the Rodeo Grounds. The majority of site users are based around the equine community, but trail use for walking, snowshoeing and biking remains a high priority of the user-base.

The leading choices of desired future uses for the park includes:

- Diversified non-vehicular trails
- Equine training and events
- Festival and special event staging
- Camping (rustic)
- Private bookings (weddings, reunions etc.)

Based on the results of the first online survey, the most important existing facility on site is the public washroom. Followed by trails, parking, clubhouse, equine infrastructure and then a cook shack. Other leading desired future facilities and infrastructure improvements include:

- Overnight camping (rustic)
- Outdoor skating rink/trails
- Upgraded horse ring and stabling
- Off Leash Dog Park
- Disc golf course
- Designated festival space/ concert stage

Several themes emerged as a result of the engagement:

1. *Upholding of the rustic nature of the site and facilities, as well as preservation of the natural habitat.*
2. *Equestrian prioritization, based on creating more event opportunities and upgrading facility safety.*
3. *The desire and benefit of making the property more multi-use - allowing for varying activities to take place at the same time.*
4. *Revitalization of trails and activity spaces, as well as facilities (such as bathrooms) and amenities (such as signage), in order to improve overall user experience and safety.*

Phase 2 Engagement

The key tenant for Phase 2 Engagement was the creation of two full site master plans based on the feedback received from Phase 1.

Both master plans were presented to Summerland District Council on February 13, 2023. Along with the two plans, the presentation included previous feedback from the first open house, environmental mapping overall guiding themes

and an update on the structural integrity of certain park buildings and structures. The phase 2 engagement followed the following timeline:

Mid-January 2023	Phase 1 Engagement Report available on-line
February 13, 2023	Both Concepts presented to District Council
February 28, 2023	Public Open House - Two Master plan Options presented
March 1, 2023	Online Survey Opens
March 15, 2022	Online Survey Closes

Public Open House

With direction from the District Council and Parks & Recreation staff consultations, two master plan options were finalized and presented to the public in an open-house forum, on February 28, 2023 at the George Ryga Arts and Cultural Centre in Summerland. A total of 42 attendees, including key contributors and public users were present to provide valuable feedback and opinions regarding the proposed master plan concepts.

Along with the panels, a large aerial photo of the site was present and became a focal point of many discussions allowing participants to point out current uses, issues and provide valuable information relevant to the final design.

Phase 2 Overview

Two master plan concepts empowered respondents to give direct and personal comments on their preferred options. The feedback was pointed and very useful on the day of the open house as well as through the final design process. Several emergent themes from Phase 1 returned and a few new ones became apparent. The following are the top themes:

Revitalization

Feedback recognized the need to revitalize the park through upgrades and updates to existing buildings, structures and servicing as well as the introduction of new opportunities like disc golf, mountain biking and trail expansion.



Natural Preservation

The rustic nature of the site and buildings along with the ecological uniqueness to the area remains a strong draw and a high priority to respondents.

Equestrian vs. Multi- Use

The majority of respondents chose a multi use approach to the site, but safety and conflicting uses are a large concern. While the multi-use supporters feel that there is enough space for all groups, the equestrian supporters believe that a mixed-use approach may result in conflicts and safety issues. While the multi-use concept does have support amongst respondents, there is a clear line on what that looks like between the two groups.

Safety & Maintenance

Potential user conflict is a repeating theme for equestrian supporters. Dog and horse conflict are a well known and proven issue, while the potential for conflict between horses and disc golf was described as a potential problem.

Loss of Local Equestrian Facilities

It was identified that there are few remaining public access equestrian facilities in British Columbia, and that this could become an asset if properly managed.

Costs

Feedback from both the survey and in-person conversations at the open-house indicated that the costing estimates provided for proposed facility upgrades and or new construction seemed low. While costing remains a concern for most respondents, and will be refined for the final report, cost did not seem to factor into how people prioritized their decisions, and the majority were open to corporate partnerships to help cover future infrastructure management.

3.3 PRECEDENT STUDIES

The Summerland Rodeo Grounds are a unique public park space within the District's portfolio but also within the Okanagan Valley. With a rich history of equestrian use and community connections, the park finds itself in a position of being a publicly accessible space with many features amenities catering only to a few specific and unique user group.

The precedent studies from the 2008 Rodeo Grounds Report (Appendix 10) assumed a larger, more ambitious facility and land use for the park. Through this reports engagement process it became evident that those precedent studies, while still valuable, did not represent the needs or wants of the current Summerland community

Several communities and equestrian groups in Southern British Columbia were contacted to find information regarding facilities size and function, rider groups, community involvement and overall facility management. These examples, have offered insight and information on facility design, management and operations that can be applied to the Summerland park vision and management strategy.

Joe Brown Park, Surrey, BC

Joe Brown Park is a 27.5 hectare (68 acre) municipal park nestled within the Newton Community and Panorama Ridge neighbourhood in Surrey, BC

This park has multi-use trails for walking, cycling and horseback riding. These trails connect to the greater network of the Delta-South Surrey Regional Greenway and Serpentine Greenway.

The park offers a softball field and riding facilities, which are home to the **Panorama Ridge Riding Club**. Joe Brown Park was established in 1932 and expanded in the following years. The western portion of the park was a City-owned quarry known as Colebrook Pit, which was in operation until 1983. In 2004, the quarry became part of Joe Brown Park.

In 2022, a new fenced dog off-leash area opened in this area. This is the only publicly accessible facility in Surrey that is used by both equestrians and local residents. During the last few years of Covid-19 pandemic the park experienced increased usage as people explored leisure pursuits closer to home.

Joe Brown Park Amenities Include:

- All Weather Dressage Ring, 20m X 60m
- All Weather Show Jumping Ring, 30m X 70m
- Cross Country Jumps Including Ditches, Bank/Step And 250 Meter Track.
- Limited Small Paddocks
- Bleachers
- Walking And Riding Trails Around The Park.
- Concession With Washroom Facilities On Site Available To Rent.
- Limited Trailer Parking.
- On-Site Caretaker

Panorama Ridge Riding Club (PRRC), Surrey, BC

PRRC is a volunteer run club of approximately 70 members, funded by membership fees with support from the West Panorama Ridge Ratepayers, the City of Surrey and Surrey Parks Department. Riding Club membership dues are used to pay for insurance, upkeep and repairs.

Operations

The PRRC has a 5-year renewable operating license with the City of Surrey for the land. Through the license, PRRC is required to provide a copy of the AGM minutes, strategic plans and insurance through the BC Horse Council each year to the City of Surrey to maintain operations.

The current success of PRRC is in part due to a new and invigorated board of directors. There is a majority of members with a high level of equestrian knowledge and passion that can focus efforts where needed. Equestrian work is done though PRRC volunteers and sourced out when necessary. The City of Surrey manages some park maintenance, but majority of the work was undertaken by the on-site caretaker.

Park revenue is achieved through fundraising and whole site bookings (including concession) at a cost of \$450/day. Some equestrian groups have subsidized rental and usage rates for courses or shows. Other successful income streams have come from renting for film and TV and concession building rentals which can earn between \$200 and \$500 per event day.



Image: City of Surrey



Image: City of Surrey

Keremeos Rodeo Grounds, Keremeos, BC

The Keremeos Rodeo grounds are located a short distance south of the town of Keremeos. The site hosts the Keremeos Elks Rodeo each May long weekend and is now in its 81st year. The Keremeos Rodeo Association (KRA) is a non-profit group that runs and organizes the event as well as takes care of the Rodeo Grounds. The grounds are located on private land and are surrounded by working farms on both sides.

Park Amenities Include:

- Large Rodeo Ring - 50m X 100m
- Several Stabling And Holding Pens
- Announcer Booth And Av Support
- Just Completed Elks Hall Building
- Large Concession Building
- Washroom Building With Showers
- Covered Stage And Seating
- On-Site Trailer Camping For Rodeo Athletes
- Off-Site Overflow Parking
- Various Storage And Rodeo Buildings
- Volunteer Caretaker Nearby



Image: Keremeoselksrodeo.ca

The rodeo grounds also host at least one but most times two Bluegrass Music festivals that annually draw between 60-150 performers/attendees. On-site trailer camping is provided at a cost of \$35.00/ vehicle for the full weekend and a day pass for spectators is \$5.00 per day. Local community sponsors are given sponsorship opportunities through social media as well as on-site.



Image: Keremeoselksrodeo.ca

The KRA hosts approximately 30 members. The local Elks Lodge members also make up the KRA but will be disbanding soon, making the KRA the sole association responsible for the rodeo. The KRA has a balanced mix of young and old members that enables the group to tackle the work needed. The new Rodeo Grounds Hall measures 15m by 30m and was built entirely by volunteer labour with materials being donated or subsidized by local business.

The KRA has discovered that the high cost of event insurance and the need to have all events preplanned early in the year limits their ability to add more booking or opportunities as they come up over a season. They have also found that the required amounts and coverage rates can be a deterrent to smaller events booking the space. They too have found unique ways to raise additional funds through community dances, the Bluegrass Festivals, equestrian gymkhana and filming opportunities including for the car show Top Gear.



Image: Penticton Western News

Island 22 Horse Park, Chilliwack, BC

Island 22 Regional Park is a semi-serviced park, owned by the City of Chilliwack and managed by the Fraser Valley Regional District. Island 22 Regional Park provides visitors with picnic tables, dog off-leash areas, equestrian facilities, a bike skills and jumping area as well as a large boat launch facility along the Fraser River.

The equestrian area was originally constructed by the Chilliwack and District Horse Council. This area includes paddocks, trails, jumps and a show ring. Riders are allowed to use this area for a daily fee, payable at the park office. Groups wishing to hold meets or clinics must reserve the use of the facility through the Park Manager.



Image: City of Chilliwack

The perimeter and interior trails may be shared by equestrian users and cyclists. In addition to the trail network, the park has a bike skills area.

Park Amenities Include:

- Equestrian Area
- Picnic Tables
- Benches
- Parking
- Bike Skills Area,
- Dog Off-Leash Area,
- Washrooms

This park offers a few unique characteristics such as:

- Being the only one of two remaining equestrian parks in British Columbia
- Providing a safe and inclusive year round riding for all equestrians
- Available facility for Pony Club, 4H Horse and Horse Trials BC
- High profile training facility for 4H Horse, Pony Club, and certified coaches



Image: island22horsepark.com



Image: City of Chilliwack

4. VISION, STRATEGIC GOALS, OBJECTIVES & DESIGN CRITERIA

4.1 INTRODUCTION

Throughout the research and engagement process, emergent themes appeared and often repeated themselves. These themes began to help create a vision for the parks future, which in turn helped to determine six overarching goals and their associated objectives. Through the collaborative engagement and design process and following some established design principles, these objectives became part of the components of the Development Plan (Figure 6).

4.2 VISION

The Summerland Rodeo Grounds Park aims to protect and enhance this historically, culturally, and environmentally endowed property by remaining true to the equestrian roots of the site, creating spaces for community events and activities, and ensuring a light ecological footprint to all existing and proposed amenities.

4.3 STRATEGIC GOALS AND OBJECTIVES

GOAL 1

Ensure and retain public access to local equestrian training facilities

OBJECTIVES

- Facilitate and partner with an overall guiding organization for the management of the equestrian facilities
- Foster partnerships with local and provincial riding groups and facilities
- Upgrade and expand on site equestrian facilities
- To develop collaborative governance and management capabilities

GOAL 2

Create an ecologically diverse park with greater environmental resiliency

OBJECTIVES

- Protect and preserve all environmentally sensitive areas

- Upgrade site servicing systems and incorporate best practices in their management
- Utilize elements that promote energy and material conservation
- Encourage the use of local materials and resources

GOAL 3

Service a wide range of uses primarily focused on outdoor activities, considering equestrian groups and beyond

OBJECTIVES

- Develop a wider range of park amenities and services
- Encourage collaborative spaces and events for mixed activities
- Promote stewardship within the community and users

GOAL 4

Develop a park and plan with more economic self-sufficiency

OBJECTIVES

- Prioritize and budget accordingly for site development
- Encourage private/public partnerships
- Seek out unique and more robust fundraising and sponsorship arrangements

GOAL 5

Provide for the safety and comfort of all users and visitors to the site

OBJECTIVES

- Provide adequate space between different uses and trails where possible
- Enhance lighting, gated access and surveillance strategies.
- Develop a signage and communication strategy for site use

GOAL 6

Contribute positively to the District of Summerland and adjacent communities

OBJECTIVES

- Support the preservation of historic amenities and uses when possible
- Complement the adjacent properties and their management plans
- Foster opportunities for expansion and development through partnerships and engagement
- Support and enhance indigenous outreach, collaboration and reconciliation.

4.4 OVERALL DESIGN PRINCIPLES

These design principles are intended to establish a set of high level best practices for work at all levels done in relation to the park master plan. These are not specific to one particular issue or problem with the park but instead should be applied to any scenario, solution or proposal that comes forward.

1. The park's primary function should be as a large scale multi-use municipal park space balanced with a continued and enhanced equestrian focus.
2. The Trout Creek Riparian Area and the steep, treed slopes of the park should be protected and enhanced and considered unique landscape features.
3. The overall park layout should have a high degree of legibility with logical wayfinding for first time users or groups.
4. Most new amenities and structures should be as multi-use/multi-function where possible.
5. The construction of all future buildings, structures, servicing and amenities should limit impact to environmentally sensitive areas.

6. The park and programming should efficiently accommodate simultaneous events.
7. The safe movement of people, animals and vehicles through the park should be of high priority.
8. All new amenity development and building will meet municipal, provincial and federal standards as applicable.



5. MASTER PLAN - 5.1 DEVELOPMENT PLAN



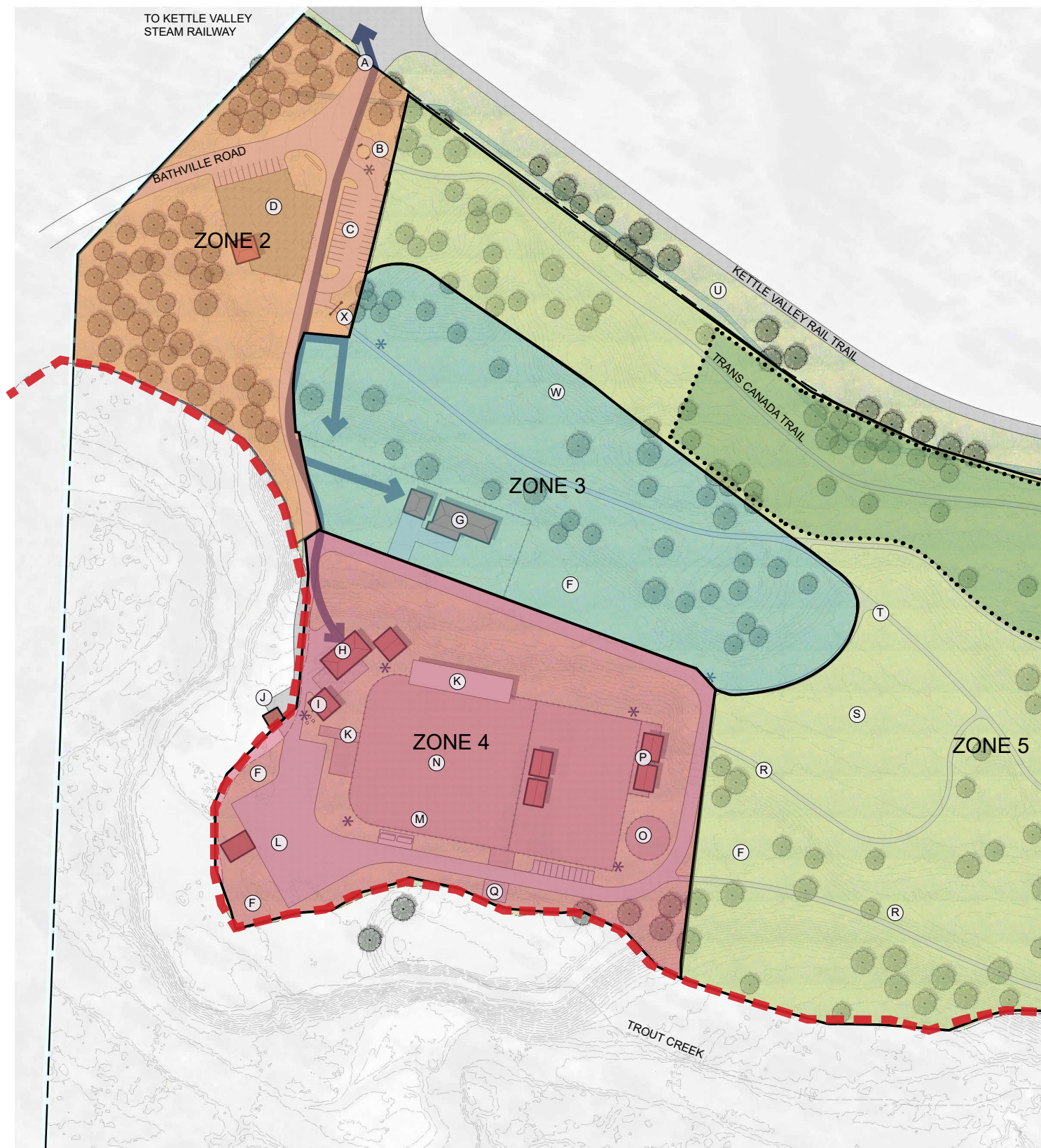


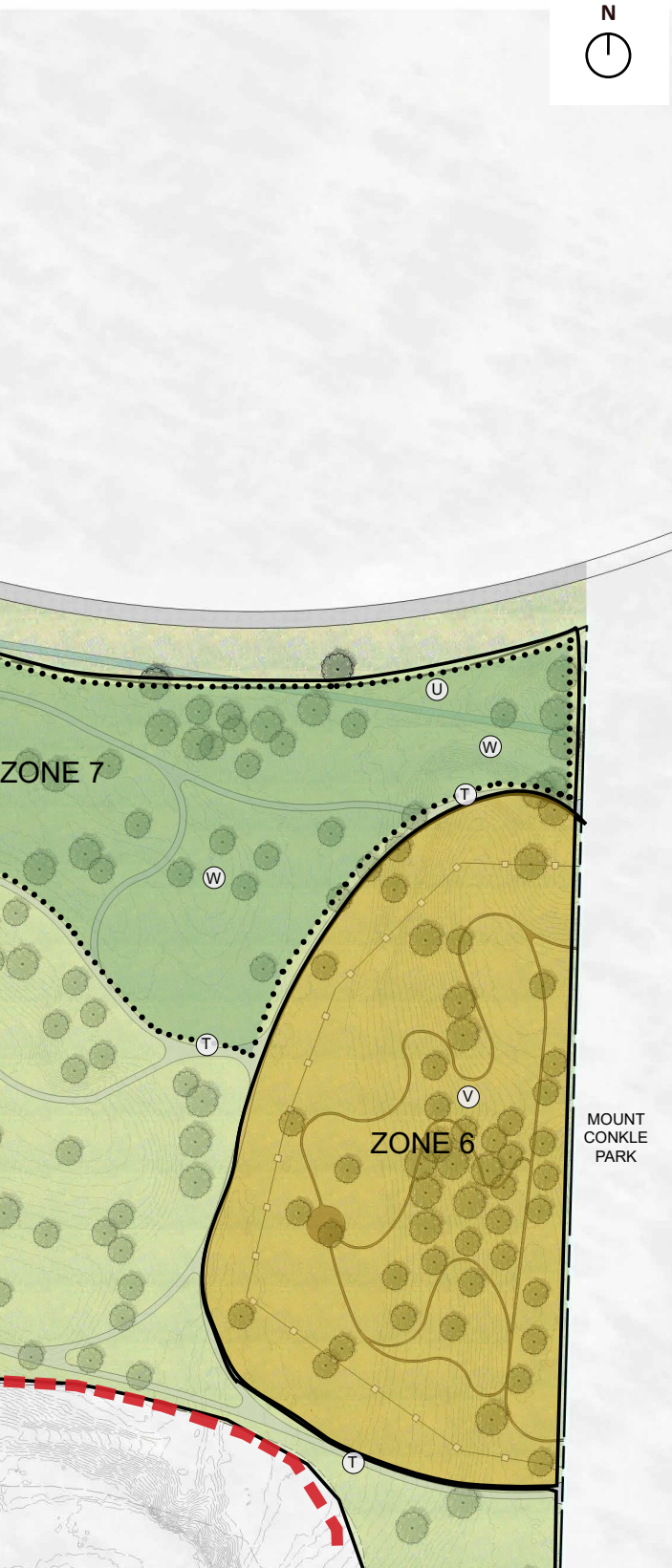
LEGEND

- 30m RAPR SETBACK
- PREFERRED EQUESTRIAN ROUTE

- A- MAIN ENTRY WITH KIOSK SIGNAGE
- B- ENHANCED TRANS CANADA TRAIL TRAILHEAD SIGNAGE / BIKE REPAIR STATION / PIT TOILET / WATER
- C- TRAILHEAD PARKING - +/- 26 STALLS- LOCKABLE GATE - LIMITING SITE ACCESS
- D- IMPROVED GARNETT VALLEY GANG PADDOCK AND BARN
- F- EQUINE CAMPING
- G- EXISTING CARETAKERS RESIDENCE
- H- EXISTING CLUBHOUSE NEW DECK AND STORAGE SHED
- I- NEW COOK SHACK / CONCESSION
- J- EXISTING BATHROOM BUILDING
- K- EXISTING UPGRADED GRANDSTAND/ BLEACHERS
- L- FLEX SPACE (TRAILER PARKING / EVENT START & FINISH FOOD TRUCKS/ MARKET)
- M- NEW SMALLER BLEACHERS WITH SHADE STRUCTURE
- N- RIDING PEN FOOTING AND FENCING UPGRADES
- O- 60' ROUND PEN (LOCATION TO BE FURTHER EXPLORED)
- P- NEW HORSE SHELTER/ STORAGE (LOCATION TO BE FURTHER EXPLORED)
- Q- MANURE AND COMPOST STORAGE (LOCATION TO BE FURTHER EXPLORED)
- R- PROPOSED NEW TRIALS
EXISTING TRAILS TO REMAIN
PROPOSED EQUESTRIAN MOUNTAIN TRAIL
PROPOSED EQUESTRIAN CROSS COUNTRY COURSE
- S- OUTDOOR CONCERT EVENT SPACE/ CAMPING / OVERFLOW PARKING
CONCERT SEATING (500+ CAPACITY)
CONCERT CAR CAMPING (+/- 30 SITES)
- T- IMPROVED EXISTING TRAILS
- U- EXISTING WATER FLUME
- V- MOUNTAIN BIKE SKILLS AREA
- W- POTENTIAL FUTURE FORMALIZED MULTI-USE AREA
- X- VEHICULAR CONTROL (GATES, BOULDERS, SIGNAGE)

5. MASTER PLAN - 5.2 PARK ZONING CONCEPT





LEGEND

30m RAPR SETBACK

ZONE 1- PRELIMINARY SITE IMPROVEMENTS

- ← UPGRADED WATER AND SEPTIC SYSTEMS
- * POTENTIAL ADDITIONAL WATER SOURCES

ZONE 2 - MAIN ENTRY

- A- MAIN ENTRY WITH KIOSK SIGNAGE
- B- ENHANCED TRANS CANADA TRAIL TRAILHEAD SIGNAGE / BIKE REPAIR STATION / PIT TOILET / WATER
- C- TRAILHEAD PARKING - +/- 26 STALLS- LOCKABLE GATE - LIMITING SITE ACCESS
- D- EXISTING AND IMPROVED GARNETT VALLEY GANG PADDOCK AND BARN
- X- VEHICULAR CONTROL (GATES, BOULDERS, SIGNAGE)

ZONE 3 - CARETAKER / CAMPING

- F- EQUINE CAMPING
- G- EXISTING CARETAKERS RESIDENCE

ZONE 4 - EQUESTRAIN FACILITIES

- H- EXISTING CLUBHOUSE NEW DECK AND STORAGE SHED
- I- NEW COOK SHACK / CONCESSION
- J- EXISTING BATHROOM BUILDING
- K- EXISTING UPGRADED GRANDSTAND/ BLEACHERS
- L- FLEX SPACE (TRAILER PARKING / EVENT START & FINISH FOOD TRUCKS/ MARKET)
- M- NEW SMALLER BLEACHERS WITH SHADE STRUCTURE
- N- RIDING PEN FOOTING AND FENCING UPGRADES
- O- 60' ROUND PEN (LOCATION TO BE FURTHER EXPLORED)
- P- NEW HORSE SHELTER/ STORAGE (LOCATION TO BE FURTHER EXPLORED)
- Q- MANURE AND COMPOST STORAGE (LOCATION TO BE FURTHER EXPLORED)

ZONE 5 - TRAIL AND OPEN SPACE

- R- PROPOSED NEW TRIALS
EXISTING TRAILS TO REMAIN
PROPOSED EQUESTRIAN MOUNTAIN TRAIL
PROPOSED EQUESTRAIN CROSS COUNTRY COURSE
- S- OUTDOOR CONCERT EVENT SPACE/ CAMPING / OVERFLOW PARKING
CONCERT SEATING (500+ CAPACITY)
CONCERT CAR CAMPING (+/- 30 SITES)
- T- IMPROVED EXISTING TRAILS
- U- EXISTING WATER FLUME

ZONE 6

- V- MOUNTAIN BIKE SKILLS AREA

ZONE 7

- W- POTENTIAL FUTURE FORMALIZED MULTI-USE AREA

5.1 DEVELOPMENT PLAN

The Development Plan (Figure 6. pg. 20) is part one of the master plan. Part two consists of the Operations and Maintenance Plan, described later in this chapter. The Development Plan identifies the development work that is recommended to achieve the vision and strategic goals of the master plan.

5.2 PARK ZONING CONCEPT

There are twenty-nine or more interrelated components in the Development Plan. The components are grouped into seven distinct zones as shown in the Park Zoning Concept (Figure 7. pg. 24) and described below; however, the interrelated nature of the improvements should be stressed.

5.2.1 ZONE 1 - PRELIMINARY SITE IMPROVEMENTS

Water

A constant and secure source of drinking water is a necessity for park visitors but also an asset that will facilitate growth and use of the park and its equestrian facilities. A new main well located on site with an improved flow rate would offer more clean water to more users. It would also increase the potential for additional bathrooms and shower facilities and offer more water to users. The KVR Train Station also shares this well, so a collaborative approach to a replacement should be considered.

It should be noted that this area is known for elevated Uranium concentration levels above the Interior Health's Maximum Acceptable Concentration (MAC) of 0.03 mg/l and that any new well dug here may require treatment as well.

Electrical Power

The single-phase power currently being used could be upgraded with the installation of a pole mounted transformer. Additional power could be used for a more powerful well pump, event and rodeo grounds lighting and signage and security lighting beyond the caretaker's unit.

Well pump size and power requirements will need to consider not only for current needs, but potential new uses in areas like the riding rings, camping, additional washroom facilities and fire protection.

Site exposure may also make the park a candidate for solar power on certain smaller lighting opportunities and help move the site in a more sustainable direction.

Septic Systems

The existing septic systems are not functioning at optimum capacity and need upgrading. An upgraded and expanded septic system will be required to accommodate the proposed increased uses and future expansion plan. Any new work would need to meet all municipal and provincial requirements as well as understanding the location in relation to Trout Creek.

Roadways

The site is serviced by a series of connected roads of various widths and lengths. While retaining the existing surface treatments for these roads is desired, there is an opportunity to delineate edges better to limit material migration and ensure road slopes and corners can accommodate truck and trailers.

5.2.2 ZONE 2 - PARK MAIN ENTRY

A - Main Entry Sign

A more formal entry sign would help to delineate the park from the Kettle Valley Train station area, establish a more formal sense on entry and also visually connect this park to the larger District Parks system and community.

B - Enhanced Trans Canada Trail Trailhead (KVR)

Signage

Improved park signage as well as interpretive signage at the trailhead can be used to keep users informed and up to date with park events, as well as natural

and historical aspects of the site and the KVR .

Pit Toilet

Including a pit toilet at the point will improve the user experience along the trail and is part of the intent make the park a starting point or destination for KVR trail users. This location will also help reduce users need to walk down into to the clubhouse area to use the existing facilities.

Bike Tool Station

A key asset as cycle touring the KVR continues to grow. A repair station will help with flat tires (pump) and basic repairs with tools and a stand integral to the design. There is also an opportunity to for future amenities such as a e-bike charging station as the use of electric biles grows in the valley.

Seating and Shade

As a stopping or starting point along the KVR, adequate seating will be required for many different users. Benches as well as some tree planting would be incorporated to create a rest area for users.

C- Trailhead Parking/Gated Access to Remaining Site

Parking Lot

Increased daily usage will require additional on site parking. A more organized and formal parking lot will allow for a more efficient and safe traffic flow at the main entry. This parking will allow for more KVR users to use this site as starting point along the trail and provide parking for day use or for weekend events

Lockable Gates/ Kiosk Sign

It is recommended to install a lockable gate just south of the trailhead parking lot on the dirt road which goes east in to property. This is to prevent vehicle access to this area which is not required for trail use, to prevent vehicles from going up Conkle Mountain, to mitigate backcountry fires, and to reduce environmental impacts. The gate could be opened for permitted uses when required.

D- Garnett Valley Gang Paddock and Clubhouse with Parking

The current use of the building and paddock for the Garnett Valley Gang Train robberies is a great opportunity to create spaces that engage beyond the rodeo grounds. This space should remain available to the volunteers to stable horses on weekends and other 'Train Robbery' events.

The building was cleaned and repaired by the volunteers but was not part of the structural review of existing buildings. It is recommended that a structural survey be completed of that building,

X – Vehicular Control Measures

Beyond a main entry gate, other vehicle deterrents are proposed to deter or inhibit unauthorized vehicle traffic on the trails or through the SRG's sensitive ecosystems. These could range from gates, large boulders to signage.

5.2.3 ZONE 3 - CARETAKER & CAMPING

Throughout the engagement process it became apparent that camping currently does happen on site but in a somewhat loose and self-directed way. Users may sleep in campers attached to truck beds, large dual trailers and fifth wheels, tenting or any combination of.

Creating specific equestrian-based camping areas would help organize the park during large weekend events and would be welcomed by the equestrian community since many provincial Recreation sites with equestrian facilities are first come first serve tend to book up with non-riders quickly and many are looking for more equine friendly destinations

F - Equine Camping:

Creating opportunities for improved camping for equestrians has been noted. It is recommended to consult and engage experts with Horse Council BC and Back Country Horseman to provide support and guidance when developing further plans for camping locations and amenities. It is expected that equestrian campers

would want to be near where their horses are stabled (stabling and/or new wooden pens), have access to water, and manure disposal. Potential equine areas have been noted on concept plans.

G - Existing Caretaker's Residence

Support was received to keep the caretaker residence on site and in the current location. The combination of security and site services that this arrangement provides key to the success of the park.

5.2.4 ZONE 4 - EQUESTRIAN FACILITIES

Riding Ring Upgrades

Footing

Upgrades and the possible full replacement of the footing material in both rings will increase rider and horse safety as well as decrease the required maintenance. A full excavation of the existing material down to a firm compacted base layer and the addition of compacted stone and a top layer of river sand would be required, but would improve safety and increase usage for the rings.

Fence/Gate Repairs

Fence repairs are ongoing and currently done on as needed basis. A key feature that can be added at this time is a board at the base of the riding ring fencing to prevent the migration of footing out of the ring.

Existing North Bleachers

Some necessary upgrades can be made to the remaining large bleachers. All efforts should be made to retain this set of bleachers based on their capacity as well as the shading provided by the roof structure. Further structural review is required before any extensive repair work is done.

Upgraded Water Sourcing

A close and convenient water source will enhance the equestrian experience. Hose bibs would be placed around the riding rings and buildings to increase access

for drinking and cleaning.

At the time of upgrades back-flow preventers should be installed as required at the existing and proposed points of connection

H - Existing Clubhouse with New Deck and Additional Storage

Based on the structural analysis and report (Appendix 1), here is a need for more detailed look into the interior supporting walls of the building. Running water, heat and lighting are all additional systems within the building that should be reviewed. Further structural analysis has been recommended and a more comprehensive solution will be determined at a future date.

I - New Cookshack / Concession

Based on a structural analysis and report (Appendix 1), the closure and eventual demolition of the current cookshack for various safety and building safety issues has been recommended.

A new cookshack/ concession building, is a key asset to the park for events and bookings. A fully functioning kitchen will add event programming abilities as well and fundraising potential for the park and user groups. Additionally exterior power and water could be installed to allow for food truck or catering trucks to set up for events and bookings and provide additional support or fundraising opportunities.

J - Existing Bathroom Building

The ability to have a washroom building with showers is a major asset to the riding community as well as all park users. Overall, the building is in satisfactory shape and it is recommended that general maintenance and the addition of roof line gutters would help with longevity of the building moving forward.

K, M - Existing Grandstand and Proposed Bleachers

The structural report recommends that the southern grandstand (painted blue) be closed to the public and eventually demolished. The northern grandstand, while more structurally stable has been recommended for further review and analysis based on some preliminary footing observations during the report.

Existing bleachers that are structurally sound should have any code and maintenance issues addressed, while new smaller portable bleachers could be purchased and placed along the southern fence line or moved as needed.

The existing bleachers offer protection with roof structures attached to each. If this bleachers are removed a new permanent free standing or integral to the bleachers would be recommended.

L - Flex Space: Trailer Parking / Event Space

This existing southern parking and flex space has been used by attendees during an event on site. Uses range from trailer and truck parking, to adventure racing events and many other uses. It is recommended that this space remain for this purpose, a more defined and edge to the roadway limits will help contain anymore material spreading into the surrounding landscape.

O - 60' Round Pen

The park original had a round and replacing it has been identified as a 'medium term vision' by the SRGDEC. Round pens are used to work young or fresh horses prior to riding or for working with first time riders in smaller enclosed area. Specific location to be further explored to fit appropriately on site.

P - Covered Stables and Shade Structures

Identified in the consultation process as well as directly from the SRGDEC. More stabling options and covered

spaces for horses would be welcome. An additional two covered stables could be located to the east of the rings while new storage and barn structures could be located around the existing clubhouse. Specific location to be further explored to fit appropriately on site.

Q - Manure and Compost Area

The current practice of collecting and off site disposal of manure by City staff should remain in place. Specific location to be further explored to fit appropriately on site.

5.2.5 ZONE 5 - TRAILS & OPEN SPACE

R, T - Proposed and Existing Trails and Improvements

Feedback from users has in general said the equestrian trails are in good condition and do not need much, if any, upgrades. The proposed plan has increased the number of trails on site. The intent is to create multiple linked trails that will create different length options for rides in terms of time and ability.

With an increase in overall trail options and the creation of more looping and connected trails comes the opportunity to designate certain equestrian trails that would be more technical and challenging. The development and creation of both a small cross country jump course loop and a mountain trail course would create interest province wide and appeal to a larger group of equestrians willing to travel and camp on site.

With the intent to create a multi-use park, user safety is always a concern. Common user groups to this site include horseback riders, on and off leash dog owners, hikers, bikers, as well as winter cross country skiing and snowshoeing. It is recommended that a hierarchy of trails be developed with some trails designated all users while others be more user group specific. This will create travel options for all users and reduce the likelihood trail mishaps or interactions between users (e.g. Horse and bike, or horse and off-leash dog).

The overall trail network for this park should also be

considered at the time of the Conkle Mountain Park Trails Redevelopment Plan slated for 2024.

Conkle Mountain Park (CMP) Trail Access

Access through the park to and from (CMP) is a key asset to be maintained and enhanced. The main point of access between the park is the northeast corner of the site as riders move from CMP through the park. This is the easier point of access as it is close to the Trans Canada Trail and has far less grade and sloping trail challenges. The other access point is the southeast corner offers more challenging terrain and trails and may not prove to be as universally accessible to most riders. This means that the northern access point should be considered as the main access point and designed and enhanced to include such measures as ensure clear lines of sight, trailhead signage and other amenities as required.

Trans Canada Trail (TCT) Access

In an attempt reduce user conflicts at the main entrance to the site, an additional access point to the trail could be proposed east of the main entrance. A potential site location has been mapped based on the existing and future trails that would see some horses and riders enter and exit the TCT further west from the main entrance. Through rider feed back it has been identified that equestrian access along the TCT within the Summerland Rodeo Grounds must be encouraged and maintained. It is recognized as the safest and friendliest equestrian route through or around Conkle Mountain Park and the SRG for new riders and families.

Trout Creek Trail Access (ESA 1)

Within what has been identified as ESA 1 (Figure 4) there are several existing steep trails down to the creek edge. It is recommended that this area remain untouched and will be unaffected by any of the suggested site improvements of the current master plan concept. The existing small and rugged trails down to Trout Creek will remain and promoting additional travel on these trails is not recommended at this time.

The opportunity for future interpretive and directional signage within the ESA 1 area does exists but will be at the discretion the District as the RAPR would not apply because this is designated park space and the future works would not be commercial or industrial and most likely have a light impact on the areas.

S – Outdoor Concert Event / Overflow Parking

Currently this area serves as tenting and overflow parking for large events and concerts. It is recommended that this area remain as such and that additional signage and trail design be used to help delineate the space properly and limit addition disturbance to the surrounding ecologically sensitive areas.

U – Existing Water Flume

Shown in its current location it should be noted that by 2027 the current Trout Creek flume along the north of the site will be culverted. While not part of the study , this will eliminate a physical barrier between the KVR Trail and the site. Long term this may increase access into the site all along the KVR trail and may need to be controlled. Options could range from signage to fencing.

5.2.6 ZONE 6 - MOUNTAIN BIKE SKILLS PARK

V – Mountain Bike Skills Park

Identified after the first public engagement session, and again in the second on-line survey, there is a desire to develop a skills park in the Summerland area where newer riders could develop skills, be offered courses and gain confidence before heading out into the more challenging and renowned South Okanagan biking trails.

The proposed area would consist of a climbing trail and three descending trails of varying difficult based on the topography of the area. Fenced off but with points of access off designated trails as well as from CMP, this is an asset that could add to the already popular bike

culture along the KVR as well as help expand the growth of mountain biking in the area.

5.2.7 ZONE 7 - POTENTIAL FUTURE MULTI-USE AREA

W – Potential Future Multi-Use Area

This area of the park could be considered for future formalized multi-uses. It is recommended that new uses are considered on a case-by-case basis as the opportunities arise which may include proposals from the community and community organizations, with proposals requiring analysis for fit and function.

An 18-hole Disc Golf Course was considered and presented to staff, council and the consultant team over this process. Using both the this park and CMP for the course layout, three holes would fit on the rodeo grounds park site with the remaining 15 holes laid out over CMP. While the proposal has merit, including barrier free access to outdoor recreation, economic development for the Summerland area while creating another potential destination point for the area, there are concerns around safety and ecological protection.

Safety

Many equestrian users are concerned about flying discs and rider safety if the course trails were to cross or errant discs struck horses or riders, creating a safety concern. We have identified some instances where this has happened in other parks that mixed equestrian and disc golf.

Ecological Protection

One of the larger threats to the southern Okanagan landscape is invasive species. The invasive plant species spread through seed dispersion that tend to come on park users shoes. The nature of disc golf may lead to an increase in off path foot traffic that could lead to ecological degradation of the area through invasive seed dispersion.

Mountain Bike and other park-use proposals would require additional analysis and engagement before proceeding.



5.3 OPERATIONS AND MAINTENANCE PLANNING

This section describes the Operations and Maintenance Planning that is recommended as part of the effort to achieve the Vision and Strategic Goals of the of this report and plans.

There are three interrelated components to the Operations and Maintenance Plan. The components are categorized by the predominant objective and are detailed in the sections below:

5.3.1 Operations and Maintenance Planning

The costs associated with the Operations and Maintenance Plan for this initiative would cover the District's staff time to attend the site and record areas of deterioration/building elements requiring repair, undertake any repairs or to hire private contractors to complete the work. Any additional serious hazards revealed in the process will be mitigated immediately.

While significant work has been done in relation to this report there is still additional work that is required to understand the current state of the site servicing and some existing buildings, such as:

- Additional structural review of clubhouse interior wing walls
- Additional structural review of the undermining around base of north bleachers
- Review of current conditions of the existing main well, with eventual goal of replacement.
- Review of both septic fields and tanks and proposal for effluent field replacement
- Analysis of current electrical servicing and potential upgrade plans

Continued and ongoing review of the parks buildings and services will enable the District to react and budget in a timely manner as needed through the next 15 years.

5.3.2 Capacity Building and Public Involvement

For over 110 years, volunteers and public participation have been the backbone of the Summerland Rodeo Grounds to date. Without groups like the Summerland Trail Riders and the current S.R.G.E.D.C, none of this would be here. It is fundraising, grants and volunteer labour over the last 20 years that have made the S.R.G what it is today. With the current condition of many for the park's amenities in need of repair and with a vision to expand the park usage. The need to build back a robust network of organized volunteers, staff and funding streams will be necessary over the next 15 years and beyond. Certain ways to help build this capacity would be:

- Create one central non-profit organization that works in partnership with the District to manage the park and the facilities.
- Create a 'Friends of Summerland Rodeo' group to act as social and volunteer group to organize projects and work at the park in partnership with District staff.
- Encourage and support Indigenous outreach and community involvement in the acknowledgment of the site's history and future use.
- Create a dedicated web page and social media platform for all bookings and events.
- Offer workshops on grant writing and proposals.
- Municipal summer student that can liaise with the management organization, District Staff and the community across this and all park.

5.3.3 Business Plan

It is recommended in the short term that the District continue the current business model of site rentals and partnerships while adjusting for factors such as inflation, rising operation costs and capacity. Every local equestrian recreational site functions differently and offers, while often similar, a unique experience and set of facilities. While the SRG cannot be a carbon copy of any other site in the province it is recognized that a new approach to fundraising and cost sharing is needed.

A longer term business plan for the SRG would involve an in depth analysis of current business practices, including current rates, operational costs, fundraising values and market trends combined with a potential and enhanced partnership with leading equestrian partner such as the S.R.G.E.D.C

The ever shifting world of equestrian recreation serves as a challenge to creating the updated business plan. While equestrian use is increasing over BC, the loss of public land for equestrian use is straining the remaining facilities such as Summerland. Interestingly, the move away from small rodeos and into activities such as mountain and challenge course riding and clinics offers a potential economic driver in terms of site usage and rental.

It is recommended that development of a new business model be created that incorporates the economic needs for the District to maintain the site and meet the needs of not only the equestrian community but that of Summerland and beyond.

The District could consider negotiating a lease agreement with the Summerland Rodeo Grounds Equine Development Committee to manage and operate the equine-focused section of the property. Specific terms of the agreement including lease boundaries, term, fees, booking administration and revenues, property and operational expenses, maintenance and repairs, capital upgrades, etc. would need to be considered and agreed upon by both the District and Committee.

5.3.4 Plan Monitoring

Every five years, the Management Plan will be reviewed and a memorandum prepared that summarizes Management Plan activity, milestones achieved and documents any road blocks.

Implementation priorities and financial investment requirements will also be reviewed annually and at five year intervals, as part of the future Districts Financial Plan budget process.



6. OVERALL COST ESTIMATE

Based on the site and infrastructure improvements proposed through the conceptual master plan (Figure 6), the following 'Class C' cost estimate was created with a total value of approximately \$1.58 million including soft costs, operational allowance and design contingency.

A zone by zone breakdown is provided below with a more detailed breakdown provided within Appendix 11. The preliminary cost estimate is intended to help align the district's current and future needs for the site.

The conceptual master plan and costing will also help the District and user groups create a communal vision and direction on how to move forward in partnership.

Soft costs of 15% and an Operations and Maintenance allowance of 10% of the total have been applied to the overall total cost and calculated using recent and proven industry standards. The 30% contingency is in line with a Class C cost estimate typically assigned for budgeting and long term projects such as this.

ZONE	TOTAL COST
ZONE 1- Preliminary Site Improvements	\$ 180,000.00
ZONE 2- Main Entry	\$ 122,000.00
ZONE 3- Caretaker/ Camping	\$ 47,750.00
ZONE 4- Equestrian Facilities	\$ 552,125.00
ZONE 5- Trails and Open Space	\$ 61,000.00
ZONE 6- Mountain Bike Skills Course	\$ 21,750.00
ZONE 7- Potential Multi-Use Area	To be Determined
SUBTOTAL	\$ 984,625.00
Soft Costs- Surveys, Investigations, Permitting (20%)	\$ 196,925.00
Operations and Maintenance (10%)	\$ 98,462.50
Contingency (30%)	\$ 295,387.50
TOTAL	\$1,575,400.00

Figure 8: Overall Cost Estimate

7. IMPLEMENTATION PROGRAM

7.1 OVERVIEW

The proposed site improvements and associated costs are envisioned to be implemented over the following 15 years, in alignment with Districts financial planning process. The proposed improvements have been prioritized into the following three implementation phases.

While the Conceptual Development Plan provides a path forward for long-term development of the park it represents a snapshot in time and will undoubtedly evolve over the years. It is a tool that the District staff and leadership can use to facilitate ongoing discussions with various user groups and organizations to identify potential priority projects to be funded and advanced through design construction

A brief description of the proposed short, medium and long-term priorities, along with associated costs, is provided below.

It should be noted that these costs are estimates based on the most current industry standards. Further detailed costing will be the result ongoing design and consultation. Both the overall and phase breakdown costs include a provision for soft costs. These may include; additional user group consultation, surveys, reports, permitting and detailed design.

A breakdown of these costs can be found in Appendix 11. These costs have not been adjusted for inflation.







LEGEND

30m RAPR SETBACK

PHASE 1 \$218,500.00

NEW WELL AND PUMP

SURVEY AND REPLACE SEPTIC FIELDS AS REQUIRED

INSTALL MAIN ENTRY KIOSK SIGNAGE

IMPROVED GARNETT VALLEY GANG PADDOCK AND BARN

LOCKING VEHICULAR GATE

DEMOLITION AND REMOVAL OF SOUTH GRANDSTANDS AND CONCESSION BUILDING

STRUCTURAL REVIEW OF CLUBHOUSE AND REPAIRS

PAINT AND REPAIR ALL EXISTING BLEACHERS AS REQUIRED

NEW 5 TIER ALUMINUM BLEACHER

TEST PITS TO DETERMINE DEPTH OF RING FOOTING TO BE REPLACED

NEW MANURE AND COMPOST BINS

BEGIN CONSTRUCTION OF ADDITIONAL EQUESTRAIN CHALLENGE TRAILS

BEGIN CONSULTATION FOR MOUNTAIN BIKE AREAS

PHASE 2 \$328,250.00

NEW POLE MOUNTED TRANSFORMER - POWER UPGRADES

MAIN ENTRY PARKING LOT - +/-30 STALLS

INSTALL BIKE REPAIR STATION, BENCHES AND SIGNAGE AT KVR TRAILHEAD

RESEARCH AND PHASE 1 EQUINE CAMPING

NEW SECURITY LIGHTING AND CAMERAS

NEW PERMANENT CONCESSION BUILDING

REMOVE AND REPLACE RING FOOTING MATERIAL

NEW 60' ROUND PEN

INSTALL GUTTERS ON ALL BUILDINGS AS REQUIRED

CONTINUE CONSTRUCTION OF ADDITIONAL EQUESTRAIN CHALLENGE TRAILS

CONSTRUCT MOUNTAIN BIKE AREA WITH FENCING

CONSIDER MULTI-USE OPPORTUNITIES

PHASE 3 \$438,375.00

REGRADE EXISTING ROADS

NEW PIT TOILET

PHASE 2 EQUINE CAMPING

NEW CLUBHOUSE DECK AND PATIO

NEW STORAGE BARN

NEW COVERED HORSE PENS

NEW 200 SEAT GRANDSTAND WITH SHADE STRUCTURE

FINISH CONSTRUCTION OF ADDITIONAL EQUESTRAIN CHALLENGE TRAILS

7.2 PHASE 1 - SHORT TERM (1-3 years)

- | | |
|----------|--|
| ZONE 1 | <ul style="list-style-type: none"> • New water well with upgraded pump • Coordinate survey of existing septic systems and upgrades as required |
| ZONE 2 | <ul style="list-style-type: none"> • Structural review of Garnett Gang paddock and building • Install lockable vehicular gate • Install benches and garbage containers • Install kiosk sign |
| ZONE 3 | <ul style="list-style-type: none"> • N/A |
| ZONE 4 | <ul style="list-style-type: none"> • Demolition and removal of grandstand and concession building due to structural safety concerns • Structural review of clubhouse interior walls and repair • Coordination for interim concession options on site • Repair/paint all existing bleachers as required • Install one 5 tier bleacher set • District outreach with rider groups to look at consolidated management group and funding streams • Dig test pits to determine depths required to remove existing footing • Construction of manure/ compost bins |
| ZONE 5 | <ul style="list-style-type: none"> • Construction of new multi- use trails and equestrian challenge trails |
| ZONE 6-7 | <ul style="list-style-type: none"> • Begin consultation process with local mountain bike riders • Consider new multi-use opportunities as they arise |

PHASE 1- SHORT TERM (1-3 years)	TOTAL COST
ZONE 1- Preliminary Site Improvements	\$ 100,000.00
ZONE 2- Main Entry	\$ 25,500.00
ZONE 3- Caretaker/ Camping	
ZONE 4- Equestrian Facilities	\$ 70,000.000
ZONE 5- Trails and Open Space	\$ 20,000.00
ZONE 6- Mountain Bike Skills Course	\$ 2,500.00
ZONE 7- Potential Multi-Use Area	TBD
TOTAL	\$ 218,000.00

Figure 10: Phase 1 Cost Estimate

7.3 PHASE 2 - MEDIUM TERM (4-9 years)

- ZONE 1
 - Pole mounted transformer for power upgrades
- ZONE 2
 - Main Entry parking lot +/-30 stalls
 - Install bike repair station and new signage at Trans Canada/ KVR trailhead
 - Construction and installation of Main Entry signage
- ZONE 3
 - Research locations and amenities for equine camping
 - Construction of one phase/location of equine camping
- ZONE 4
 - Construction of permanent concession building
 - Remove and replace riding ring footing
 - Install one 5 tier bleacher set
 - Install 60' round pen
 - Install gutters on all buildings as required
 - Additional lighting and security upgrades
- ZONE 5
 - Continued construction of new multi- use trails and equestrian challenge trails
- ZONE 6
 - Construction of Mountain Bike Skills Area if deemed appropriate and viable

PHASE 2- SHORT TERM (4-9 years)	TOTAL COST
ZONE 1- Preliminary Site Improvements	\$ 35,000.00
ZONE 2- Main Entry	\$ 23,000.00
ZONE 3- Caretaker/ Camping	\$ 23,875.00
ZONE 4- Equestrian Facilities	\$ 207,125.00
ZONE 5- Trails and Open Space	\$ 20,000.00
ZONE 6- Mountain Bike Skills Course	\$ 19,250.00
ZONE 7- Potential Multi-Use Area	TBD
TOTAL	\$ 328,250.00

Figure 11: Phase 2 Cost Estimate

7.4 PHASE 3 - LONG TERM (10-15 years)

- ZONE 1
 - Regrading of roads and better accommodate truck and trailers
- ZONE 2
 - Install pit toilet
 - Parking lot at Garnett Gang area +/- 10 stalls
- ZONE 3
 - Completion of next phases/locations of equine camping
- ZONE 4
 - Construction of clubhouse deck and patio
 - Construction of new storage barns
 - Additional roofed horse pens
 - Installation of 200 seat grandstand and shade structure
- ZONE 5
 - Continued construction of new multi- use trails and equestrian challenge trails

PHASE 3- LONG TERM (10-15 years)	TOTAL COST
ZONE 1- Preliminary Site Improvements	\$ 45,000.00
ZONE 2- Main Entry	\$ 65,000.00
ZONE 3- Caretaker/ Camping	\$ 23,375.00
ZONE 4- Equestrian Facilities	\$ 285,000.00
ZONE 5- Trails and Open Space	\$ 20,000.00
ZONE 6- Mountain Bike Skills Course	\$ 0.00
ZONE 7- Potential Multi-Use Area	TBD
TOTAL	\$ 438,375.00

Figure 12: Phase 3 Cost Estimate

8. CONCLUDING COMMENTS



The District of Summerland Rodeo Grounds Master Plan provides sound guidance for the overall management of the municipal park over a 15 year period. The master plan establishes a framework for District decision-making with respect to park operations and maintenance, and it provides a strategic approach to park development and capital investment.

The master plan provides a solid framework, enabling the District to showcase Summerland Rodeo Grounds Park as an outstanding natural area within the District's boundaries. The park is a living example of the way ecological values are protected in a place where appropriate kinds and levels of human activity are welcome; the directions of the master plan aid those who manage it in achieving the careful balance between environment and recreation.

APPENDICES

- APPENDIX 1: STRUCTURAL ASSESSMENT REPORT
- APPENDIX 2: ENVIRONMENTAL ASSESSMENT REPORT
- APPENDIX 3: WHAT WE HEARD REPORT #1
- APPENDIX 4: ONLINE COMMUNITY SURVEY #1 - RESULTS
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- APPENDIX 6: ONLINE COMMUNITY SURVEY #2 - RESULTS
- APPENDIX 7: S.R.G.E.D COMMITTEE FEEDBACK LETTER
- APPENDIX 8: GARNETT VALLEY GANG LETTER
- APPENDIX 9: DISC GOLF PRESENTATION
- APPENDIX 10: 2008 SUMMERLAND RODEO GROUNDS REPORT
- APPENDIX 11: OVERALL COST ESTIMATE
- APPENDIX 12 : MASTERPLAN FIGURES

APPENDIX 1

STRUCTURAL ASSESSMENT REPORT



December 1, 2022

Ecora File No.: 221114

District of Summerland
PO Box 159, 13211 Henry Ave
Summerland, BC V0H 1Z0

Dear District of Summerland

Reference: Summerland Rodeo Structural Visual Assessment

Ecora Engineering and Resource Group Ltd. (Ecora) was requested to undertake a structural review of the buildings and bleachers located at the Summerland Rodeo Grounds located at Bathville Road, Summerland, British Columbia. A Field review was undertaken by Mr. Matthew Roche PEng (Author) on Friday October 28th.

The field review was limited to a visual non-destructive review of the existing structures listed below:

1. Log Cabin Storage Building
2. Exterior Public Restrooms
3. Concession Building
4. Public Function Hall
5. Blue Bleachers (South side of Rodeo)
6. West Bleachers
7. Large Northern Bleachers

The locations of the buildings are provided in figures 1 and 2 for reference. There was no historical information regarding the construction of these buildings provided to Ecora prior to the review. The date of construction is unknown; however, it was evident that most of these structures were built prior to 2000 and the latest design standards.

No calculations or detailed review was undertaken on these structures as the review was limited to a visual assessment to document areas of damage, corrosion, or cracking and to determine if all structures have a clear load path for both vertical and lateral loads.

The purpose of the review was to determine the following:

- To see and document any damage to the existing structure.
- To determine the presence of safe load paths.
- To review the structures to determine if there have been any alterations which have changed the original design intent to our best knowledge.

- To determine if the structures are still safe for public usage.

This report will review these structures based on structural principles and experience. The review will not complete any detailed design calculations, nor will it compare the existing structures with the latest applicable design standards and building codes.



Figure 1 Aerial photo of Summerland Rodeo (Google Maps)

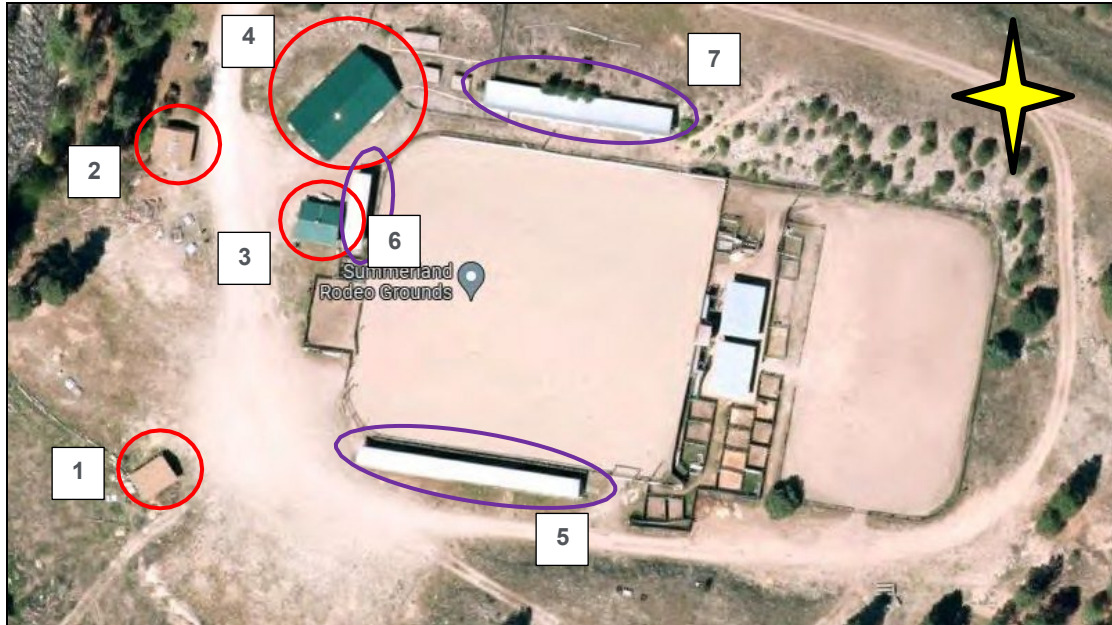


Figure 2 Location of structures within Rodeo (Buildings in Red circle, Bleachers in Purple circle)

Site observations:**Structure 1 - Log Cabin Storage Building**

Figure 3- Log Cabin Storage building (North face)

The log cabin was measured 4,800mm wide by 6,440mm long and 3,380mm height to the apex and 2,410mm height to the eaves. It was comprised of 6in diameter timber logs infilled walls, and 4 vertical posts 8in diameter on each side of the structure with a top beam across all four posts. There was a double door 2,100mm wide on the front of the cabin with an adjacent window as the only wall openings. The roof was comprised of hand framed timber trusses fabricated with dimensional lumber and plywood connections at approximately 2 feet on center made up of 2 x 6 rafters. No internal review was completed of this structure as it was inaccessible at the time of the review.

There were several items noted during the field review. The first item was that there was no roof down drain or any gutter system on the building. This has led to rot and vegetation growth on the eave fascia beam with some water damage as shown in figure 4 below.



Figure 4 Wood Rot and Moss growth on Structure 1

Also noted on site was the discoloration of the posts at the corners of the building. Moisture damage was found on the base of the posts from the discoloration. This is likely due to the wood post sitting directly onto the concrete base without any isolation gasket to prevent moisture from the flat concrete surface from being absorbed by the timber post. There was no visible connection between the post and footing.



Figure 5 Moisture discoloration at base of posts

Although not a structural issue, the structure was missing insulation at the rear of the building (south side). There were large gaps between log infills at the top of the gable end walls.



Figure 6 Gap between Infill logs and top of wall

No major cracks were noted in the concrete slab on the exterior and the building did not have any signs of differential settlement.

The vertical members appeared plum and there was no lateral or vertical deformation observed on site.

Gravity loads are supported by the top wall logs and beams and the log columns. Lateral loads do not have a recognized conventional lateral load resisting system but are currently resisted by the staked log infill panels between the columns.

Structure 2 – Public Restrooms



Figure 7 Structure 2- Public restroom (Southeast Corner)

The Public restrooms are comprised of 8in hollow block masonry construction. It was not determined if the blocks are infilled, but it is assumed that they are partially infilled blockwork as there were no major cracks or damage found on the walls during the field review. No perimeter concrete foundation wall was noted, and the masonry wall is likely supported on the concrete slab with a thickened edge around the perimeter and in the center of the building. This was not verified on site and the review was a nondestructive visual review.

There is a center masonry wall with an internal height of 3,930mm to the underside of the roof which supports internal rafters that consist of 176 x 38mm dimensioned lumber member at 600mm on center. The building is 7,250mm wide x 6,100mm long. There is a single door opening on each gable end of the structure with a reinforced concrete U-Block lintel above the door.

There was no drainage or down pipes on the structure and as a result there was a lot of rotting on the eave fascia beams as shown in figure 8.



Figure 8 Damage to Eaves beam on Restroom east face

Internally, the members appeared to be in good condition and there were no signs of rotting or damaged found within the building however the connection from the rafters to the center wall was not reviewed in detail due to inaccessibility of the wall.

There were several blocks within the men's compartment (east side) who had been damaged. This damage is shown in Figure 9, and it does not appear to be related to structural distress.

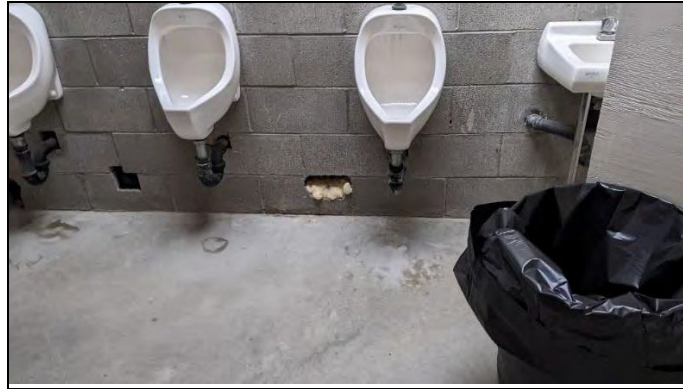


Figure 9 Damage to blocks internally

There were no major cracks found in the concrete slab on the grade floor and the skylight within both compartments appeared to be free of leaks and damage. The building was in general good condition with minor damage to the eaves fascia beam as a result of water runoff from the roof.

The building structure consists of timber rafter framed roof supported on 8in masonry walls that resist gravity and lateral loads of what appears to be a concrete slab with presumed thickenings at the masonry walls. The building does not appear to have any additions or structural renovations since its original construction and is still safe for public occupancy.

Structure 3 – Concession Building



Figure 10 – Concession Building West Elevation

The concession building is constructed using hand constructed wood trusses utilizing two-dimensional lumber with plywood connections spaced at 2ft on center. The trusses span 4,910mm plus a 1,450mm overhang on both sides. The walls are comprised of 2 x 4 studs at 1,250mm on center sheathed with plywood. Along each side there are three openings on each side. The sizes for the openings are 1,800mm, 2,450mm and 1,500mm from west to east. There is a three ply 2 x 6 header beam transferring the load from the roof trusses to 90mm x 90mm timber sawn cut posts between the openings.

At the ends of openings there was 2 feet and 3 feet length of plywood sheathed wall. With three 2 x 4 members within. The header beam is supported on a single 2 x 4 bearing stud within these walls.

Issues noted during the field review was the lack of a safe load path to the foundations for both gravity and lateral loads. The studs at the end of the side wall opening were not contiguous to the footings. There was no hold down anchor bolts found on site on any of the walls. Due to the stud spacing the lateral resisting of the building is compromised. The roof trusses appeared to be in good condition, however the connection to the supporting header beam was not reviewed on site as it was inaccessible due to the internal ceiling.

The internal head height from floor to ceiling was measured to be 2,180mm which is just above the current minimum floor to ceiling height defined in part 9 of the British Columbia Building Code 2018, table 9.5.3.1.

There was also water damage on both the base of the cladding at the west elevation and east elevation, this is likely due to the exterior water taps at both locations.



Figure 11 – Concession water damage on East elevation

Internally there were no sprinklers, or drywall lining on the timber framed walls. In the center of the room there is an open gas grill with no fire suppression equipment noted on site. Although it is outside the scope of this report, the building may be prone to combustion and should be reviewed by a fire officer prior to any occupancy.



Figure 12 - Internal compartment for kitchen.

Like the other buildings, water damage was found on the eave's fascia beams as no gutter or drainage was provided. This issue should be addressed with the other items noted in the report.

The framing of this building, although in reasonable shape, is unconventional and not to typical framing standards. Stud spacing, top plate connections and members interfaces, hold down connections and truss fabrication are not standard and uncompliant with the current code required.

Structure 4 –Public Function Hall



Figure 13 - Public Function Hall Southwest elevation.

The Public function hall is a 10147mm x 18240mm long Log framed function hall. It is comprised of 6in diameter logs notched together to form the walls. Internally there are large log roof frame/truss spaced at approximately 3.6m on center supporting the timber decking. The roof is clad with corrugated steel with a tongue and groove decking spanning between the log roof frames/truss. The footing appears to be a strip footing supporting the log walls with a concrete frost wall.



Figure 14 – Internal Log Roof frame

The internal wood and connections appeared to be in good condition, there were only minor cracks found on the slab on the grade floor. The log roof frame/truss was not measured to be sagging excessively and there did not appear to be any cracking or other damage on the elements. However, only the exposed frames were reviewed as a suspended ceiling in the southeast half of the building resulted in many frames hidden from view.

Internally there were some short fin walls circled in figure 14. However, from the field review there was evidence that these walls have been reduced in length, possibly to extend the width of the room.



Figure 15 – Original extent of fin wall

It is unknown the date when the structure and when these alterations were undertaken, or if a structural engineer was consulted as no existing drawings were provided to Ecora for review.

There did not appear to be any water damage within the structure, and even though the structure did not have a gutter the eaves beams appeared to be in satisfactory condition.

The building appears to be in relatively reasonable structural condition. However, there are certain areas that are structurally of concern for review.

1. The impact on the roof truss end support connection due to the removal of a significant part of the bearing wall.
2. Stability of the log stacked end walls to support vertical gravity loads and out of plan wind loads.
3. Seismic resistance of the building.

At the north side of the function hall, there appeared to be an old bleacher structure. This was not reviewed as part of the field reviews and was considered out of use.



Figure 16- Abandoned Bleacher North side of Function Hall

Structure 5 - Blue Bleachers South

Figure 17 Blue Bleachers – South side of Rodeo Photo looking South East

The Bleacher is a timber framed stick-built structure. The roof is 2in x 4in deep timber rafters at 12in on center. They span onto a 7.5in x 5in wide timber beam at the front of the bleacher which is supported by 5.5in x 7.5in solid timber posts painted blue. The posts have a total height of 3,280mm from the first step and are connected to the face of an 8in thick concrete rising wall with two bolts. This connection is provided in figure 18. The posts are at 4,800mm on-center on the front. At the rear the beams are a 2 ply 2 x 8 beam spanning 2,400mm onto a 5.5in x 7.5in solid timber posts. They are bearing on a timber cleat at the top of the column and are side connected with a single bolt into the concrete wall at the bottom shown in figure 19.

No hurricane clips or hold down bolts were noted between the roof rafters and supporting beams. It is assumed that the rafters are toe nailed into the supporting member, but it was not possible to confirm this assumption.



Figure 18 Post connection to concrete rising wall

There are cross braces with 2 x 4 members on the south face of the bleachers with 2 x 4 cross braces in 1,626mm wide bays. These braces sit on the end post into sill board above the concrete wall see figure 19.







Figure 19 South side Bracing


Lateral strength of the roof is provided at the front by minimally stiff plywood gusset connections at the top of the bolted connection and is connected at the base to the concrete wall. The lateral at the back of the bleachers is diagonal bracing and cantilevered columns above the bracing as shown in figure 19.

There was significant damage noted on site throughout the structure. The damage and deficiencies to this structure are summarized in table 1. These issues vary in terms of severity and the overall impact of this damage is discussed later in this report.

Table 1: Extent of Damage on South Bleachers

Item number	Location	Damage type	Photo
1	Floor planks 1 st step multiple locations	Rotting boards and exposed nails throughout the levels, most notably on the first level.	

Item number	Location	Damage type	Photo
2	Support posts on front of bleacher	<p>Short support posts have rotated and bent. Multiple locations.</p> <p>No footing was found below these members, and it is likely that they are not supported by a solid foundation.</p> <p>The support for the front walkway is now extent and falling apart.</p>	
3	Front step adjacent to concrete rising wall	<p>Timber below the bleacher in varies stages of rot with the worst-case members completely collapsed. This is likely due to poor drainage and no isolation from soil moisture.</p>	
4	South side of the Bleachers	<p>There are several cracks on the rising wall, most notably on the south face of the structure.</p> <p>The concrete wall and foundation frost protection is questionable and unlikely to be below the required level as set out by the building code.</p>	
5	East Elevation of structure	<p>The structure appears to have either shifted or built too short as it currently does not sit on the rising concrete wall at the east elevation.</p> <p>The sill plates and general framing appears to be in various stages of decay at the connections and sill plates</p>	

Item number	Location	Damage type	Photo
6	Front post West elevation	The 1 st post from west to east has a vertical split over its entire length. As it is side connected into the concrete wall, this connection may not be able to safely transfer vertical and horizontal loads through these bolts.	

Structure 6 – Bleachers West Elevation



Figure 20 West Bleachers Looking Northwest

The bleacher roof is comprised of 2 x 6 rafters at 16in o.c supporting a steel corrugated cladding. The rafters are supported at the front with a 3 ply 2 x 12 timber beams spanning between a built-up post comprising of 4 ply 2 x 6 timber members. The unsupported height of the post is 3,532mm. At the back the beam is a 2 ply 2 x 12 supported on a 3 ply 2 x 6 built up columns.

The front and back columns extend down and are in front and behind the continuous concrete frost wall that supports the bleacher structure. A bolted connection to the concrete walls was noted on the back members, however the front column appeared to extend below the ground level and would be prone to decay over time.

There are knee braces located at the front of the structure with cross bracing at the rear of the structure. With single brace at each end of the structure. These braces provide lateral restraint against lateral loads and are connected to the column and beam with three nails. There is cross bracing at the rear, like structure 5, have columns which cantilever past the cross bracing and are connected into the cross bracing to assist in lateral resistance.



Figure 21 Front Knee Brace for Bleachers west elevation

There were no signs of damage or rot on the wood members. There was some minor cracking in the foundation wall at the rear, but the bleachers roof structure had no obvious sign of damage and was in satisfactory condition.

There were no hurricane clips noted from the site visit and it was assumed that the roof is toe nailed in the support beams.

Although the structure appears to be in relatively good condition there are still concerns regarding the knee brace connections and sources for potential rot at the column bases which may pose a risk to the public in the future.

Structure 7 – Large Northern Bleachers

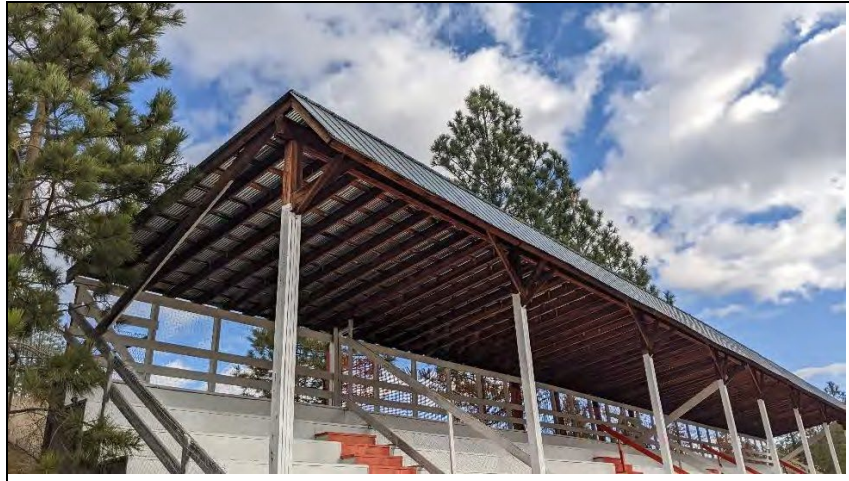


Figure 22 - Large Northern Bleachers

The northern bleachers are located on a sloping site. Much of the structure was inaccessible at the time of the site visit, the sides and seating are sheathed with plywood.

The roof structure is comprised of 2 x 8 timber members spaced 500mm on center. They span to a 3 ply 2 x 12 beam at the front. There are 8 bays of bleachers with each bay spaced at 4,890mm on-center. The posts at the front are made up of 4 ply 2 x 6 members with an unrestrained height of 4,590mm.

The rear is a 2-ply beam on 2 ply 2 x 4 studs at 4 feet on center. The built-up structures appear to extend from the foundation at the back of the bleacher structure.

There is a single 2 x 12 inclined brace at each end of the structure as well as at the center providing lateral resistance to the roof against wind and seismic loads from loads in the North south direction. Lateral loads in the East west direction are resisted at the front by knee braces on the built-up columns transferring loads through bending to the foundation footings. At the rear there are no knee braces, but it is assumed that the loads are transferred using bending of the columns which are revisited by diagonal bracing below the bleacher structure.

The foundations at the rear were not accessible to investigate in detail, however it may be undermined from erosion and wash out. As shown in figure 23. The front footings were buried and not exposed for review at the time of the field review, but it is assumed that they are a strip footing running along the front edge and possible thickenings at the locations of the front posts.



Figure 23 – Undermining of foundations at rear of bleachers

Several of the built-up posts at the front are opening in the center (see figure 25). This is likely due to the eccentricities caused by the beam not sitting correctly onto the post or the load transfer from the knee braces. In some locations the front beam only bears onto one built up member rather than the correct bearing case which should be on both members.

There were no hurricane clips on the beams and the beams at the roof were not connected with steel strap ties. Therefore, the structure may not be able to safely transfer lateral loads to the knee braces over its entire length.

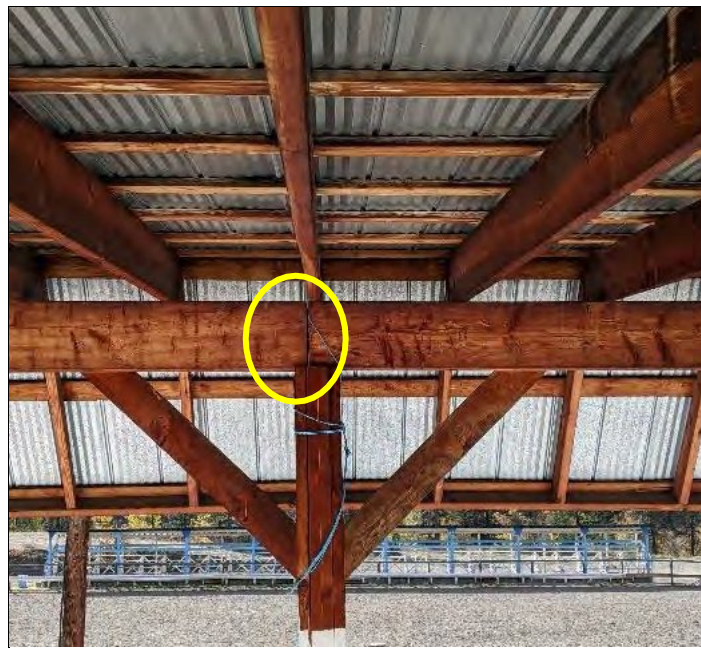


Figure 24 – Incorrect beam bearing arrangement.



Figure 25 - Built up post opening up at top.

There were several steps throughout the structure which appeared loose and may be a tripping hazard in the future if it's not rectified.

There were also no drainage systems noted on the structure which as this is a sloping site, may lead to erosion of soil below the upper footing which could lead to a sudden localized or global collapse of the structure under heavy rain events.

Discussion/Recommendations

As stated under A1.1.1.1.2 (1) in the British Columbia Building code 2018 edition: "It is not intended that the British Columbia Building Code be used to enforce the retrospective application of new requirements to existing buildings or existing portions of relocated buildings, unless specifically required by local regulations or bylaws." Therefore, these buildings were not assessed for today's code. However, they were assessed for the following criteria set out in the introduction:

- To see and document any damage to the existing structure.
- To determine the presence of safe load paths.
- To review the structures to determine if there have been any alterations which have changed the original design intent to our best knowledge.
- To determine if the structures are still safe for public usage.

The purpose of evaluating this criterion on the structures is recommended by the National building Code of Canada Structural commentaries part L-4 for evaluating of existing buildings. Buildings and structures can be deemed satisfactory to resist loads if the following criteria are met:

- careful examination by a professional engineer does not reveal any evidence of significant damage, distress, or deterioration.
- the structural system is reviewed, and critical details are examined and checked for load transfer.
- the building has demonstrated satisfactory performance for at least 30 years; and
- there have been no changes within the past 30 years that could significantly increase the loads on the building or affect its durability, and no such changes are contemplated.

Although the building's age was not verified during the desk study, it was assumed that most of the buildings within the property were close to or older than 30 years.

All the structures had inadequate drainage including gutters and downpipes and no environmental separation between the timber structure and ground surface. This has resulted in moss and other vegetation degrading the timber beams on all four buildings. To further the life of the building, drainage should be added to the structure and water run off should be directed away from the structure to prevent any issues with future differential settlement.

The first structure was seen to have moisture damage on both the roof and on the base of the posts. This should be repaired, and rotted members replaced with equivalent sized treated timber members. The gravity loads transfer to the footings via beams and the timber log columns, the lateral loads are resisted by the infill pile wall providing a shear resistance in plane. There did not appear to be any alterations to the existing building. The building appears to be safe to continue in its current use as a storage building.

The second building, the public restroom, was in satisfactory condition, except for the fascia beams which had rotted away. Replacement of these members with the addition of gutters will maintain the operation of the restrooms for the patrons. The gravity and lateral loads are resisted by concrete masonry walls on all sides as well as an internal masonry wall. There did not appear to be any alterations to the structure since its original construction. The building is safe for current use by the public.

The third building – the concession building has multiple concerning issues. There was no safe load path to the footings established for lateral loads and the building will not likely pass modern day applicable design standards. The exposed timber framed walls and beams may be a fire hazard; however, this was outside the scope of the structural report. There was water damage noted on the walls at the location of taps and external water stations.

This will cause rot in the sheathing and reduce the structural integrity of the lateral load resisting system. It is unknown if this structure had any alterations as it is comprised of unconventional construction techniques. Due to these issues the building is unlikely to be safe for continued use in its current state without structural renovation and strengthening as well as fire-resisting systems in line with modern design standards.

The fourth building - the large function hall - was a log building in good condition. The two major issues associated with this building were the lack of gutters which have started rotting off the fascia eave beams and internally the alterations to the shortfin walls will need to be investigated further. This has created stress concentration which may cause local crushing of the log beams which may cause leaks and warping of the roofing structure. It has also changed the lateral load resistance of the structure from its original design. It is also recommended that a more thorough review of this building be undertaken to review the condition of the timber roof frames hidden above the ceiling space. Although the building remains in good condition, a more detailed investigation of this structure will need to be carried out to determine if it is safe for public use.

The Blue southern bleachers have many issues noted in this report. Due to the extent of the damage and issues tabulated in table 1, it would likely not be safe for spectators without extensive repair work or a rebuild. The lateral load resisting systems are a combination of plywood gusset plates with columns bending on the front and back and diagonal bracing on the rear of the structure. It is unlikely that the structure has been altered since its original construction, as no additions were noted. Excessive rotting, damage to vertical members and localized failure of support posts, provides clear evidence that the building is advanced decay. It may be more economical to demolish and rebuild a new bleacher in its place, rather than repair the existing problems.

The west face bleachers were in satisfactory condition. Its gravity system is comprised of stick-built members with columns transferring the loads to the foundations. The lateral loads are transferred using knee braces at the front and beading columns with diagonal bracing at the rear. It did not appear that the structure has been altered since its original construction. The main concern would be associated with the lack of hurricane ties on the roof rafters and the wood members require fresh treatment to prevent rotting. The wood framing to the footings will also need to be investigated and repaired to prevent further decay of the foundations and the knee brace connections may need to be strengthened to resist lateral wind and seismic loads. Following these improvements, the structure should be safe for public use.

The large bleacher grandstand to the north should be investigated further. The lateral resisting system is comprised of knee braces at the front of the structure transferring the E-W loads to the front built up columns and diagonal braces within the bleachers to resist the loads from the North and South. There is evidence of undermining of the foundations as shown in figure 21. The posts at the front of the grandstand are splitting at the nailing pattern and will require repair work. Prior to any repair work, the bleachers sheathing should be removed, and substructure be investigated further to fully survey its condition. At this time, it cannot be determined if the structure is safe for public use. No alterations were noted during the field review of the structure.

We trust this report meets your present requirements. If you have any questions or comments, please contact the undersigned.

Sincerely

Ecora Engineering & Resource Group Ltd.

Written by

Reviewed by



Matthew Roche PEng MSc
Structural Engineer
Direct line: 250.469.9757 Ext 1075
matt.roche@ecora.ca



Doug Clough StructEng MStructE
Senior Structural Engineer/Group Lead

APPENDIX 2

ENVIRONMENTAL ASSESSMENT REPORT



June 23, 2023

Ecora File No.: 221114

District of Summerland
PO Box 159, 13211 Henry Ave
Summerland, BC V0H 1Z0

Dear District of Summerland

Reference: Summerland Rodeo Grounds Environmental Review

1. Introduction

Ecora Engineering & Resource Group Ltd. (Ecora) was retained by the District of Summerland (DOS) (the Owner/Proponent) to provide an environmental review to assist with the development of the Summerland Rodeo Grounds Master Plan (Ecora, 2023). The Summerland Rodeo Grounds (hereafter referred to as the 'park') is legally described as 2886 Osoyoos Division Yale, District Lying South of Plan A67, Except Plan A439, and is currently zoned as PR1 (Parks and Recreation).

The park overlaps an Environmentally Sensitive Development Permit Area (ESDPA), as well as a Watercourse Development Permit Area (WDPA) as described in the DOS's Official Community Plan (OCP Bylaw No. 2014, 002). The DOS OCP requires that the Proponent have an environmental assessment completed by a Qualified Environmental Professional (QEP) to address the potential for adverse environmental effects resulting from the proposed development within a DPA, as defined in the OCP. The following sections provide an environmental overview including desktop review, biophysical inventory, sensitivity ranking, and the regulatory requirements.

1.1 Environmentally Sensitive Development Permit Area

The majority of the park overlaps the ESDPA as described in the OCP and is also subject to the District's Terms of Reference (TOR) for Professional Reports and Technical Studies (2018). The TOR states that an Environmental Impact Assessment (EIA) should be performed generally in accordance with the B.C. Environmental Assessment Act (2002) by a Registered Professional Biologist (RP Bio) to address proposed land use changes within an ESDPA.

A preliminary desktop analysis was completed for the park to provide the stratification of communities occurring within the park based on their environmental sensitivity. Environmentally Sensitive Area (ESA) values were developed for each of the ecosystem polygons to ensure a seamless and consistent set of polygons (Figure 1.0). The DOS TOR provides a four-class ranking system, which was used for the ESA assignment. Factors considered during the refinement of the Property ecosystem mapping include provincial status (i.e., Red or Blue-listed), rare and endangered species occurrence and/or potential, general landscape condition (i.e., degradation, disturbance, isolation, connectivity, fragmentation), relative size, successional stage, regional rarity, relative biodiversity, and professional judgment. The four classes of ESA classification are described below:

ESA 1 (High) – areas that provide significant local and/or provincial environmental value, due to the presence of rare physical features, rare ecosystems, or rare plants and animals. These areas represent habitats of great importance to the functioning of natural ecosystems and may include habitats of critical importance to wildlife. Various types of habitats will qualify as ESA 1 based on sensitivity, vulnerability, connectivity, and biodiversity. For example, all wetlands, rare plant communities, and habitat for rare animal species have high value. Avoidance and conservation of ESA 1 designations is the primary objective.

ESA 2 (Moderate) – areas that provide significant local and/or provincial environmental value, including ecosystems that are uncommon and important for rare plants and wildlife. These areas contain physical features, plants, animals, and habitat characteristics that contribute towards the overall diversity and contiguous nature of the surrounding natural features. These will include sensitive ecosystems, as refined according to the ESA stratification criteria for the scale of mapping. They also include areas used to buffer ecological functions of high value (ESA 1) ecosystems. ESA 2 designations should be avoided, but if development is pursued, portions of the habitat must be retained and integrated to maintain the contiguous nature of the landscape.

ESA 3 (Low) – areas that may contain important features or remnant stands/sites with ecological value but are of low to moderate conservation value and considered neither locally nor regionally rare. Areas mapped as ESA 3 may be in a stage of succession that provides limited value to local wildlife species and expresses a level of previous disturbance.

ESA 4 (Not Sensitive) – areas that contribute little or no value to the overall diversity of vegetation, soils, terrain, and wildlife characteristics of the area. Areas mapped as ESA 4 typically include heavily disturbed ecosystems, previously cleared areas (gravel pits, exposed soil, etc.) and areas of existing infrastructure such as roads.

Figure 1.0 illustrates the results of the ESA ranking for each of the ecosystem mapping polygons.

The OCP Sensitive Environment policies encourage the protection of unique or special natural features as part of the design process of the project. As per the ESA rating system and criteria outlined in the TOR, the recommended protection, mitigation, compensation, and implementation strategies must show that **avoidance and conservation of High valued ESA 1 designations is the primary objective**.

1.2 Watercourse Development Permit Area

The WDPA is associated with Trout Creek (Watershed Code: 310-650900) which occurs along the southern boundary of the park and therefore, is subject to an environmental assessment in accordance with the requirements of the provincial Riparian Areas Protection Regulation (RAPR) under the Riparian Areas Protection Act. The RAPR under the Riparian Areas Protection Act applies to developments within the 30 m Riparian Assessment Area (RAA) of the identified 'Stream Boundary', including streams, lakes, wetlands, and ditches as defined by the RAPR. The RAPR provides prescriptive setbacks for the Streamside Protection and Enhancement Area (SPEA), which includes measures to protect riparian values, including trees and other riparian vegetation. The Act also requires that assessments and setback prescriptions are completed by a suitably Qualified Environmental Professional (QEP).

However, RAPR states,

Development activities taking place on park lands under local government jurisdiction are typically exempt from permit requirements and would not be subject to the regulation. In some cases, activities may be proposed in parks that constitute commercial or industrial development and therefore subject to the regulation¹.

Therefore, **if the Project does not contain a residential, commercial, or industrial development, as per Section 3 (1) of the Regulation, RAPR does not apply.**

Figure 2.0 illustrates the approximate 30 m setback from the top of ravine bank (TORB) if proposed permanent structures are to be developed as defined in the RAPR manual¹.

¹ MFLNRORD, Riparian Areas Protection Regulation Technical Manual, November 2019.

1.3 Species and Ecosystems at Risk

Ecora conducted a background review of the BC CDC Species and Ecosystems Explorer and the iMapBC web application to identify the Blue- and Red-listed plants, vertebrate, and invertebrate species with potential to occur within or near the Property. The results of the query were based on the following parameters:

- Regional District Okanagan Similkameen spatial area.
- Ponderosa Pine (PP) BEC Zone.
- Habitat Types: Forest, Riparian; and
- Red and Blue-listed species.

Table 2.1 displays the results of a search of identified element occurrences (from the CDC), or their ranges, using the public iMapBC online database and mapping at 1:5,000 scale (as per the TOR), based on an approximate 250 m radius surrounding the approximate center of the property. The search included both publicly available and masked (confidential) records. The known occurrence records and/or population boundaries for species and ecosystems are identified in the table below.

Table 2.1 Known Public Occurrences within 250 m of the Approximate Centre of the Park

English Name	Scientific Name	Species Group	BC List ¹	COSEWIC List ²
CDC Element Occurrences				
American Badger	<i>Taxidea taxus</i>	Vertebrate	Red	Endangered
Western Screech Owl	<i>Megascops kennicottii macfarlanei</i>	Vertebrate	Blue	Threatened
Federal Critical Habitat				
Desert Nightsnake	<i>Hypsiglena cholorphaea</i>	Vertebrate	Red	Endangered
Western Rattlesnake	<i>Crotalus oreganus</i>	Vertebrate	Blue	Threatened
Great Basin Gophersnake	<i>Pituophis catenifer deserticola</i>	Vertebrate	Blue	Threatened
Lewis's Woodpecker	<i>Melanerpes lewis</i>	Vertebrate	Blue	Threatened
Ecological Community				
Water birch/roses	<i>Betula occidentalis / Rosa spp.</i>	Ecosystem	Blue	-
Prairie gentian	<i>Gentiana affinis var. affinis</i>	Vascular Plant	Red	N/A
Baltic rush/common silverweed	<i>Juncus balticus - Potentilla anserina</i>	Ecosystem	Blue	-

¹ Source: <http://www.env.gov.bc.ca/cdc/> Blue: Of special concern. Red: Endangered or threatened.

² Source: <http://www.cosewic.gc.ca/> Threatened: A wildlife species that is likely to become endangered if nothing is done to reverse the factors leading to its extirpation or extinction. Endangered: A wildlife species facing imminent extirpation or extinction.

The search yielded six vertebrate species, and three ecosystems at risk with known occurrences surrounding the study area. Each record is discussed below:

- The American badger element occurrence consists of a single large polygon that depicts an estimated range boundary of the Okanagan-Boundary subpopulation, extending from the US border to the north end of Okanagan Lake. There is suitable burrowing habitat available within the Property related to the warm-aspect grassland slope. There were no badgers, signs of badger activity, or burrows observed within the Property during the site visits, but targeted surveys have not been completed.
- The Western screech owl occurrence record was from 2012 where 1 adult male was detected approximately 4km southwest of the "Summerland Rodeo" site. Western Screech-Owl *macfarlanei* subspecies (*Megascops kennicottii macfarlanei*) are non-migratory birds found at low elevations in the

Pacific coastal forests and from the southern interior of BC to northwestern Mexico through the mountain valleys. In Canada, Western Screech Owls reside in coastal locations of BC as well as in the valleys of southern BC from Lillooet, Kamloops, Lumby, Slokan, Creston and Cranbrook to the US border. Within this range, the *macfarlanei* subspecies is found in riparian woodlands dominated by Black Cottonwood (*Populus trichocarpa*), Water Birch, or Trembling Aspen that are in a matrix of dry coniferous forests. Nesting begins in spring in tree cavities and nest boxes if present, with juveniles dispersing from their natal nesting territory in late summer to establish their own territory². There still is potential for this species to be present within the Project area as there is suitable habitat within the riparian ecosystem associated with Trout Creek.

- The water birch/roses ecosystem is associated with a wet meadow and riparian coniferous forest that occurs north of the park.
- The prairie gentian vascular plant is Red listed in British Columbia. The last occurrence record was in 1993 and the polygon covers the majority of Summerland. Targeted surveys associated with rare plants and species-specific wildlife inventory were not completed as part of this overview assessment. It is unknown if the species is present within the park.
- The Baltic rush/common silverweed ecosystem is a 1 ha occurrence polygon and is associated with a wet meadow that occurs north of the park and was last observed in 2005.

In addition to the element occurrence records, there are three mapped polygons representing mapped Critical Habitat (CH) that overlaps the Property. CH is defined as “the habitat that is necessary for the survival or recovery of a listed wildlife species and that is identified as the species’ critical habitat in the recovery strategy or action plan for the species” (Environment Canada 2016).

- The Lewis’s Woodpecker record is associated with a polygon that encompasses a large 171 ha polygon that covers the northern portion of the park and extends north towards Summerland. This polygon is intended to cover various observations and habitat features that occur in the area. The biophysical attributes associated with the mapped CH includes suitable nesting trees (e.g., >30 cm diameter at breast height pine, fir, cottonwood, aspen) and foraging features (e.g., standing live or dead trees, grass and shrub layer understories, and fruit-bearing plants) (Environment Canada 2016). There were potential nesting trees observed along the southeastern and southern slopes of the park within the riparian ecosystem associated with Trout Creek and are not anticipated to be disturbed by future developments.
- The three snake species, western rattlesnake, gopher snake, and desert night snake are associated with a large 10 km Critical Habitat grid square that covers the majority of Summerland. The open, moderately sloped grass and shrub layers provide suitable migration habitat for snakes, however, there are no suitable denning areas for snakes (e.g., rock outcrops). Critical habitat features include a matrix of rock outcrops and other sparsely vegetated sites (cliff, talus), grassland and shrub-steppe ecosystems, open forest, and riparian or wetland areas to meet all the life-history needs (COSEWIC 2019). The Property generally has moderate habitat suitability for snake species due to the warm west-facing aspect along the eastern boundary and the hunting opportunities of rodents such as mice, voles, and gophers. Although this park may provide hunting opportunities, it lacks important security and thermal habitats for hibernation / denning and general cover. As such, this area is not considered to be Critical Habitat and the potential of interaction with snakes or snake habitat is expected to be low.

² COSEWIC Assessment and Update Status Report; Accessed June 22, 2023;
https://www.sararegistry.gc.ca/virtual_sara/files/cosewic/sr_western_screech-owl_1012_e.pdf

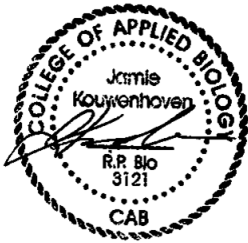
2. Closure

We trust this information meets your present requirements. If you have any questions or comments, please contact the undersigned.

Sincerely

Ecora Engineering & Resource Group Ltd.

Prepared by:



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Version Control and Revision History

Version	Date	Prepared By	Reviewed By	Notes/Revisions
0	2023-06-23	JK		Final

Attachments: Figure 1.0 Environmentally Sensitive Areas
 Figure 2.0 RARP Setback

Figures

Figure 1.0	Environmentally Sensitive Areas
Figure 2.0	RARP Setback
Table 2.1	Known CDC Element Occurrences

ENVIRONMENTALLY SENSITIVE AREAS



ENVIRONMENTAL ASSESSMENT SUMMERLAND RODEO GROUNDS SUMMERLAND, BC

Legend

- 20m TRIM Contour Lines
- Fresh Water Atlas Streams
- Digital Road Atlas Roads
- PMBC Legal Parcels

ESA Ranking

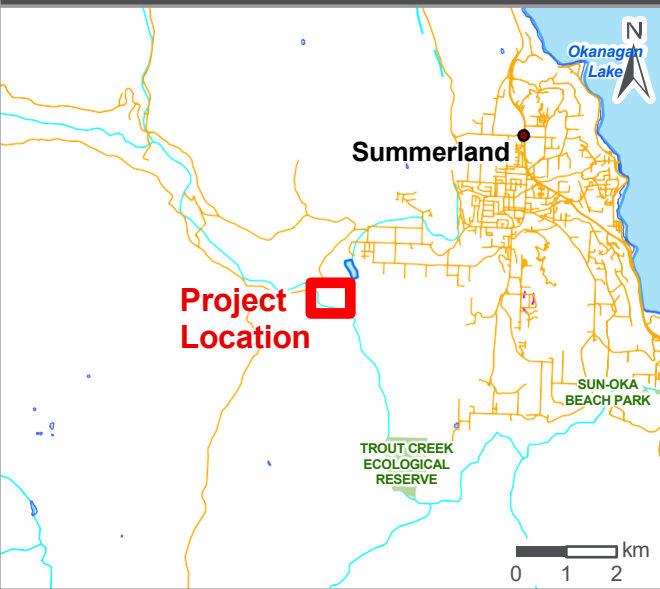
- ESA 1 - High
- ESA 2 - Moderate
- ESA 3 - Low
- ESA 4 - Not Sensitive

References

Aerial Imagery: City of Summerland, 5/9/2020

DRAFT

LOCATION MAP



1:2,500



Project No.: 221114
Client: City of Summerland

Date: 2022/11/22
Drawn: SC Check:

NAD 1983 UTM Zone 11N

Figure 1.0



RIPARIAN AREAS REGULATION SETBACK ASSESSMENT



ENVIRONMENTAL ASSESSMENT SUMMERLAND RODEO GROUNDS SUMMERLAND, BC

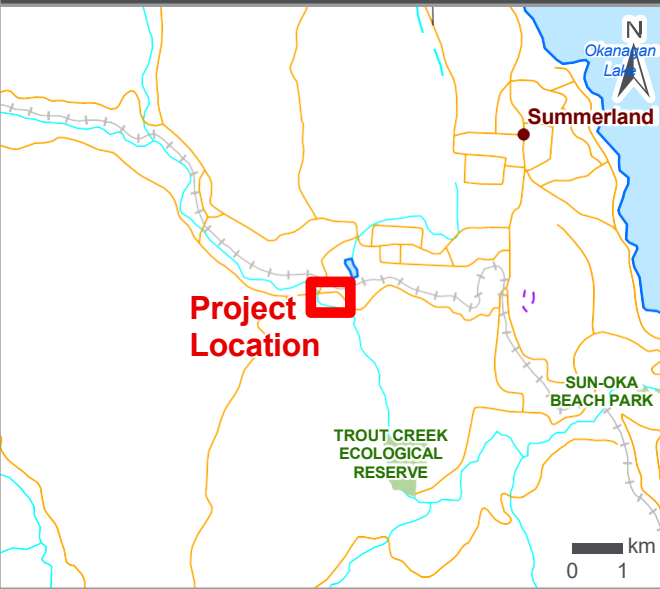
Legend

- RAPR Trigger (30m)
- Top of Bank
- 20m TRIM Contour Lines
- Fresh Water Atlas Streams
- Digital Road Atlas Roads
- Property Boundary
- PMBC Legal Parcels

References

Aerial Imagery: City of Summerland, 5/9/2020

LOCATION MAP



1:2,500

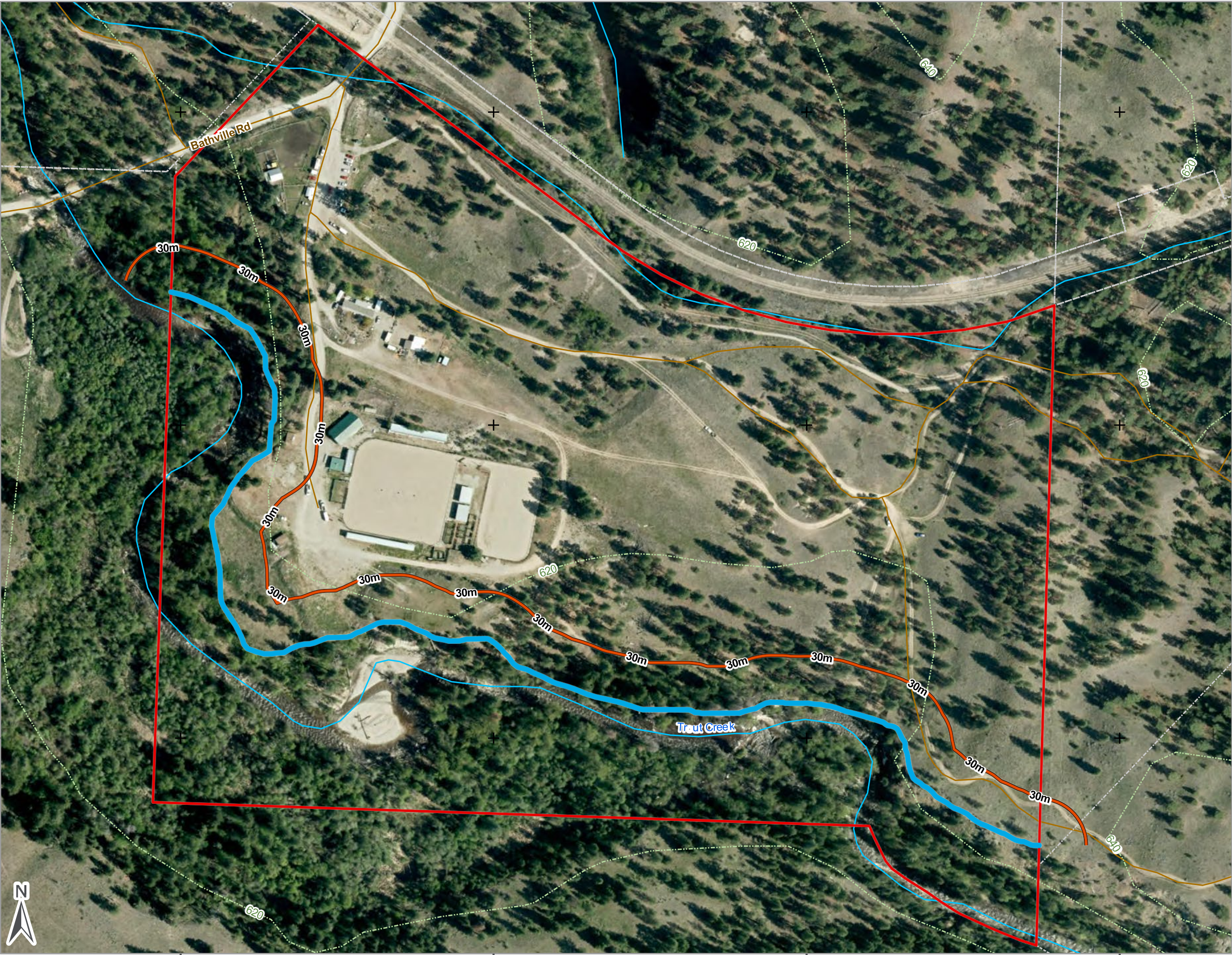


Project No.: 221114
Client: City of Summerland

Date: 2022/11/22
Drawn: SC Check:

NAD 1983 UTM Zone 11N

Figure 2.0



APPENDIX 3

WHAT WE HEARD REPORT #1

SUMMERLAND RODEO GROUNDS

COMMUNITY ENGAGEMENT SUMMARY

JANUARY 2023



COMMUNITY ENGAGEMENT SUMMARY

This report represents the compilation of broad-spectrum feedback received during community engagement events held in November and December 2022.

The intent of the report is to provide an overview of community members opinions and desires, regarding future use of the Summerland Rodeo Grounds site and will become a core part of the development of the Master Plan concept design and final project report.

The opinions, wants, and needs of all engagement contributors will be considered throughout the design process. The final project report and draft Master Plan will include the design rationale behind each of the planning choices and will reflect the information and feedback collated in this report.



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APPENDICES

APPENDIX A - OPEN HOUSE / WORKSHOP FEEDBACK

APPENDIX B - ONLINE SURVEY RESULTS



1. INTRODUCTION

1.1 BACKGROUND

In the Fall of 2022, the District of Summerland retained the services of Ecora Engineering and Resource Group to function as consultants in creating a comprehensive Site Master Plan. This process started with a thorough site assessment, including environmental and structural evaluations, District staff and council engagement as well as a community workshop and open house.

The Summerland Rodeo Grounds (SRG) project was initiated by the District of Summerland's commitment to the 2018 Parks and Recreation Master Plan which provides strategic direction to the District of Summerland regarding park use, facilities and services. One of the Plan's recommendations is to undertake a master plan for the Rodeo Grounds, exploring community needs and possible uses for the site, service requirements and costs, and possible operating arrangements.

1.2 PROJECT SCOPE & PURPOSE

The overall expected outcomes of the Summerland Rodeo Grounds Master Plan (the "Plan") project are to:

- Provide a long-term vision for the property.
- Provide staff with direction on property operations and management.
- Provide recommendations for operational requirements and capital investments, including costing over the next 15 years.

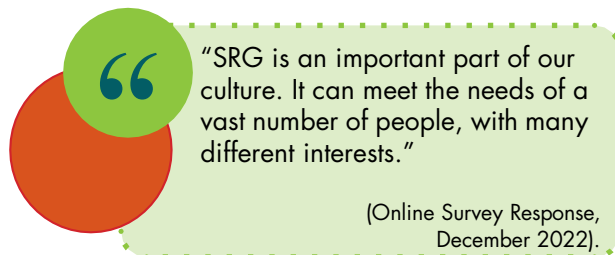
1.3 SITE OVERVIEW

The Summerland Rodeo Grounds are located at 17202 Bathville Road and occupy 73.76 acres of rolling parkland property. The Rodeo Grounds property is bordered to the east by Conkle Mountain Park, by Trout Creek along the south and west edges and the Trans Canada Trail and Kettle Valley Railway on the north side. The property has long been owned by the District of Summerland, with the operation of the Rodeo Grounds coming under the direction of the Parks and Recreation Department in the mid-1990s and is zoned as Parks and Recreation (PR2).

In addition to a multitude of informal trails, the site itself currently includes several existing structures and facilities, including: three outdoor grandstands, both a large and small riding ring, a clubhouse building, concession shack, public washroom, some stabling enclosures, and accommodation for an on-site caretaker, as well as small storage building.

2. COMMUNITY ENGAGEMENT

The intent of the engagement and consultation process is to engage the community in the planning process before moving forward in creating a Master Plan for the Rodeo Grounds site. By engaging citizens as part of the design consultation process, the District of Summerland and consultant team are seeking to develop a unique and appropriate long-term vision for the grounds, based on a foundation of broad community input.



Meaningful engagement with all community members, allows the District of Summerland and the consulting team to better achieve the time, scope, quality, cost, and engagement targets established at the outset of the project. Engagement improves transparency, accountability, and trust between all parties.



2.1 PROJECT TIMELINE

WE ARE HERE

2022		
Project Start Up Site Visit	13	Oct
Meeting with Parks and Recreation Advisory Committee	18	
<hr/>		
Key Contributor Workshop	23	Nov
Public Open House		
Online Public Survey Opens	<hr/>	
Engagement Review with City Council	12	Dec
Online Public Survey Closes	15	Dec
<hr/>		
2023		
Preliminary Engagement Report Available Online	Mid	Jan
<hr/>		
(Two) Master Plan Concepts Public Open House & Online Survey	Mid	Feb
<hr/>		
Master Plan Engagement Review with City Council	Mid	Mar
<hr/>		
Final Submission of Project Deliverables	Mid	Apr

WE ARE
HERE

2.2 PHASE-1 ENGAGEMENT

Preliminary engagement opportunities throughout Phase 1 of consultation, were created to receive feedback from both the District of Summerland Council, Parks and Recreation Advisory Committee, Parks and Recreation staff, key contributor user groups as well as the public.

MUNICIPAL CONSULTATION

PARKS & RECREATION PROJECT TEAM

In mid-October 2022, the consulting design team facilitated an on-site working session at the Rodeo Grounds with the District of Summerland project team. The outcomes achieved during this inaugural meeting include:

- A review of site background/history
- An assessment of current site and amenities
- Solidification of project goals, scope, and timelines
- Identification of current key user groups to be consulted.
- Confirm parameters of public engagement plan

PARKS & RECREATION ADVISORY COMMITTEE

On October 14, 2022, representatives from the consulting design team attended the Summerland Parks and Recreation Advisory Committee meeting, to present and gather feedback on the visioning of the Rodeo Grounds.

Questions posed to the Committee included:

- What is your vision for this site?
- How can the vision of other interested groups relate to your vision?
- Is the vision you have for this site sustainable for 5 years? 25 years? 100 years?
- What is the most important thing to achieve with this site right now?
- What is not important for this site?

Primary takeaways from the consultation with the Parks & Recreation Advisory Committee include learning:

- The Rodeo Grounds is a unique and valuable asset within the region.
- Any new plan should include a broad spectrum of community appeal.
- The site should maintain some element of its equestrian heritage and the rustic, natural aesthetic of the park, especially any environmentally sensitive areas, should be prioritized and protected.

CITY COUNCIL

On December 12, 2022, representatives from the consulting design team, (virtually) attended the District of Summerland's standing monthly meeting. Councilors were offered a full briefing of the site and project scope, as well as a review of preliminary survey trends received up to that point in time. (The online survey was officially closed on December 15 after 2 weeks).

Additional feedback and input from Council, will be sought during Phase-2 of engagement, in response to the two Master Plan concepts presented.

COMMUNITY CONSULTATION

KEY CONTRIBUTOR WORKSHOP - November 23, 2022

As part of a concerted effort to ensure primary user groups of the Rodeo Grounds were distinctively heard, several active and regular user groups, identified at the start of the project, were invited to a Key Contributor Workshop. In total, 14 people representing nine different user groups attended the workshop event. Each group was given an opportunity to discuss their historical relationship with the Rodeo Grounds and convey their group's vision and/or concerns regarding any future development of the site.

KEY-CONTRIBUTOR GROUPS PRESENT INCLUDED:

- S.R.G.E.D.C. (SRG Equine Development Committee)
- Summerland Bluegrass Association
- A.L.E.R.T. (Animal Lifeline Emergency Response Team)
- E.R.A.B.C (Endurance Riders Association of BC)
- P.P.C. (Penticton Pony Club)
- SRG Site Caretaker

The benefit of inviting key representatives allowed for an in-depth understanding of the primary user experience and for the consultant team to receive valuable input regarding the larger community vision for the Rodeo Grounds, as well as the wants and needs of its unique user-base, particularly the equine community.

Based on spoken feedback received during the workshop, it was clear to the consultant team that there are passionate community groups eager to utilize the Rodeo Grounds to its full potential. These primary groups were collaborative and saw value in the cross-over facility utilization, however, they also cautioned against over programming the space or not paying due caution to the special needs of equine activities, animals, and equipment.

The emergent themes from the workshop discussions as well as the open-house events are summarized on page 6 of this report.

See Appendix A for a copy of key open-house panels, and talking points recorded during the workshop session.



COMMUNITY CONSULTATION

PUBLIC OPEN HOUSE - November 23, 2022

Directly following the contributor workshop, the general public was invited to attend an open-house information session, which offered an overview of the current site and sought input from the public on visions for the future.

In addition to completing a written survey, attendees at the open house were asked to indicate their preference for certain activities, events or park amenities using a 'dotmocracy' survey method.

Dotmocracy, also known as dot-voting or idea rating, is a fun and informal technique used to select options or make decisions. For this open-house, attendees were presented with an array of images reflecting possible park activities, events, or amenities.

Each participant was then invited to "vote" for their favorite options by placing stickers on the photo representing a preferred choice. In addition to placing voting-dots, participants were encouraged to add any additional ideas or comments, they did not see represented by the image options.



Poster announcing the open-house event on November 23, 2022



Example of the 'Dotmocracy' panels showing results of the visual survey

EMERGENT THEMES FROM WORKSHOP & PUBLIC OPEN-HOUSE

Via round-table workshop discussion, breakaway conversations, completed hard-copy surveys, and the 'dotmocracy' voting exercise, the following themes emerged from the November 23rd community consultation sessions, as key priorities for future planning of the Rodeo Grounds site.

<p>REVITALIZATION</p>	<p>The SRG was strongly viewed as a valuable (and unique) natural asset not only for the Summerland community, but as a regional/provincial destination. The majority of respondents believed the site is currently underutilized, largely due to safety and maintenance concerns - not lack of interest or want.</p>
<p>SAFETY & MAINTENANCE</p>	<p>Feedback largely focused on the inability to maximize the usage of facilities and trails -particularly for equestrian events – due to lack of facility maintenance (e.g. arena footing); the concern over the structural safety of buildings/grandstands; as well as the need for clearer signage across the site, and designated circulation during weekends, larger functions, or private event bookings. Equestrian advocates stressed that both the animals and equipment of riders need special care, and consideration compared to other recreational activities.</p>
<p>EQUESTRIAN PRIORITIZATION</p>	<p>Many opinions strongly indicated that the grounds and facilities should focus on equestrian activities and events. While open to sharing the facilities with other groups, where feasible and reasonable, equestrian advocates stressed how few sites like the SRG exist within the BC interior, despite a growing demand. Given the rarity of similar facilities, and the historical investment of time and money made by equestrian groups, a theme of prioritization towards equestrian activities and events emerged.</p>

DIGITAL CONSULTATION

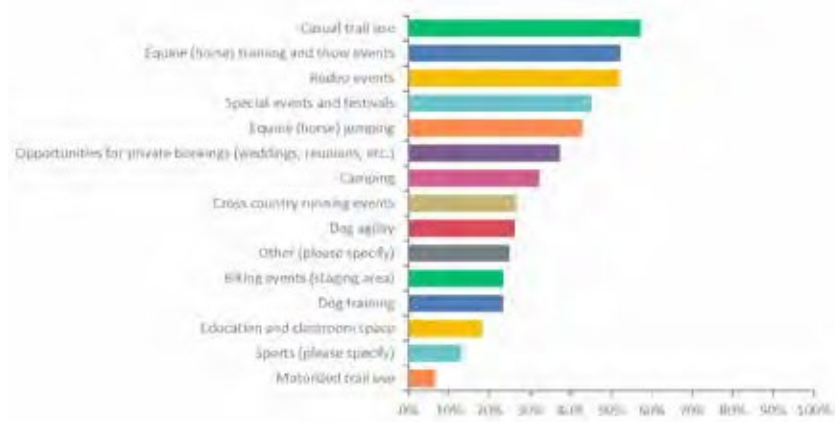
In mid-November 2022, the District of Summerland (DOS) created a landing page for the SRG Master Plan project through the Parks and Recreation portal of the DOS website. This landing page will remain open to public access until the final report and Master Plan recommendations are submitted in April 2023. In addition to providing a project overview and background information for the general public, the landing page also provides a link to the online survey tool.

ONLINE SURVEY

The first online survey was available to all members of the public between November 23 and December 15, 2022. The purpose of this first public survey was to gather information, listen and understand.

In total, 438 participants completed the survey, with approximately 66.6% identifying as Summerland residents, with 33.3% residing in surrounding communities, throughout the Cariboo, Kootenay, Thompson, Okanagan, and Similkameen regions.

What type of activities would you like to see happening at the Summerland Rodeo Grounds site? (check all that apply)



Above shows a visual example of the categorized feedback received to one of the engagement survey questions, identifying activity preferences at the Rodeo Grounds site.

A second online survey will be held February/March 2023, to solicit community and Council feedback on the two Master Plan concept designs. Participants will be asked to evaluate the design and programming appeal of the two separate concepts, providing input on aspects they see fit.

See Appendix B for the detailed summary of the online community survey results.

EMERGENT THEMES OF DIGITAL CONSULTATION

The emergent themes of the online survey feedback largely mirrored that of the in-person feedback, with additional focus on general amenities and inclusion of activities, with minimal impact to the current arrangement, such as a disc-golf course or bike skills park.

REVITALIZATION	Similar to the workshop and open-house feedback, respondents of the online survey strongly view the SRG as a valuable asset to the Summerland community, but consider it underutilized. Suggestions for revitalization include improved washroom and water facilities, regular maintenance of the arena footing and trails, with the ultimate goal of expanding community event opportunities, such as seasonal festivals and special interest events.
NATURAL PRESERVATION	While many respondents are eager to pursue the untapped potential of the Rodeo Grounds site, strong sentiment remains that efforts should be made to protect and preserve the site as a rustic destination.
EQUESTRIAN PRIORITIZATION	Online feedback maintained a strong focus on upgrading and expanding the equestrian facilities, including stabling, trail maintenance, and equestrian camping opportunities. Creating opportunities to maximize equine bookings, but also sharing the space simultaneously with other users when possible.
TRAILS & INTEGRATED ACTIVITIES	There is a strong sense amongst respondents that (non-vehicular) multi-use trails should be maintained and upgraded with signage, for safer and easier use. The integration of amenities, such as a disc golf course or a mountain-bike course, have been advocated as part of a multi-use site, while maintaining the natural and rustic aesthetic.

3. CONCLUSION

3.1 OVERVIEW - PHASE-1 ENGAGEMENT

With the variety of engagement activities completed, the following summarizes the principles and themes that will help to guide the new concept developments.

The SRG is popular with both local and out of town residents. The facilities are used all year round with the highest use in summer. There seems to be few barriers for people wanting to reach the site for an event. Several respondents were unaware of or had never been to the Rodeo Grounds.

The majority of site users are based around the equine community, but trail use for walking, snowshoeing, and biking remains a high priority of the user-base.

The leading choice of desired future uses for the park includes:

1. Diversified non-vehicular trails
2. Equine training and events
3. Festival and special event staging
4. Camping (rustic)
5. Private bookings (weddings, reunions etc.)

The most important existing facility on site is the public washroom. Followed by trails, parking, clubhouse, equine infrastructure and then a cook shack.

The leading desired future facilities/infrastructure improvements include:

- Overnight camping (Rustic)
- Outdoor skating rink/trails
- Upgraded horse ring and stabling
- Off Leash Dog Park
- Disc golf course
- Designated festival space/concert stage

PRIMARY GUIDING THEMES:

- 1- Upholding of the rustic nature of the site and facilities, as well as preservation of the natural habitat.
- 2 - Equestrian prioritization, based on creating more event opportunities and upgrading facility safety.
- 3 - The desire and benefit of making the property more multi-use - allowing for varying activities to take place at the same time.
- 4 - Revitalization of facilities such as the bathroom, and site amenities such as signage, in order to improve overall user experience and safety.

3.2 MASTER PLAN CONCEPT DEVELOPMENT

During the Concept Development stage, the project team will be evaluating the cumulative feedback from the community members and groups consulted, during the Phase 1 engagement. The Master Plan design process will begin in January 2023, incorporating all elements of consideration, including environmental impact, future sustainability, fiscal feasibility, industry research and best practices, in addition to the Phase 1 municipal and community input.

3.3 PHASE 2 ENGAGEMENT

Public participation in the Phase 2 engagement will once again, come in the form of an open-house (February/March 2023) and an online survey, which will showcase and request feedback on the two potential Master Plan concepts. The input received during Phase 2 engagement will be used to refine the preferred Master Plan concept.

In addition to the broader public feedback, Phase 2 of the engagement process will include expanded consultation with the District of Summerland City Council, the Parks and Recreation staff, as well as structural and environmental specialists.

ould like to see in the new Master Plan. Place a dot on all the activities and amenities that you think we should incorporate!

High School

23
1911

Equine
Chiro

Horse shows

For LADSD

BRUNNEN
KID
GARDEN

OVERNIGHT
HOLDS
CAMP

Investment
Savings
(2000)

1. The first step is to
 2. The second step is to
 3. The third step is to
 4. The fourth step is to
 5. The fifth step is to
 6. The sixth step is to
 7. The seventh step is to
 8. The eighth step is to
 9. The ninth step is to
 10. The tenth step is to



SUMMARY AND KEY POINTS

There is also

A display board titled "FOTO DI MEMORIA" (Memory Photos) is shown. It features a grid of 24 small photographs, each held in place by a colorful pushpin. The photos depict various scenes, including people, landscapes, and buildings. The board is set against a wooden background.

OPEN HOUSE / WORKSHOP FEEDBACK

The following are the 'dotmocracy' survey results and round-table discussion notes recorded during public open-house and workshop events, held on November 23, 2022.

In addition to the results presented here, many of the attendees of the November 23 workshop and open house completed the community survey questionnaire in hard copy form. Identical to the public survey made available online - from November 23 to December 15 - all hard copy submissions of the survey have been digitally incorporated into the larger online data bank of survey feedback. See Appendix B for the final results of that survey.



Ecora Engineering & Resource Group Ltd

2045 Enterprise Way Kelowna, BC

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SUMMERLAND RODEO GROUNDS PUBLIC OPEN HOUSE

Place a dot...

Let us know what you would like to see in the new Master Plan. Place a dot on all the activities and amenities that you think we should incorporate!



SUMMERLAND RODEO GROUNDS PUBLIC OPEN HOUSE

Place a dot...

Let us know what you would like to see in the new Master Plan. Place a dot on all the activities and amenities that you think we should incorporate!



What did we miss?

Separate
Area's
for different
types
multi-use

DRIVE-IN
MOVIE
THEATRE

NO CONSENT
DISC GOLF IN
S/LAND

U-DISC
(8 Ball Hole in
Putt n' Ride)

PDGA:
Certified
Tournaments
in Summerland
& people events
(in Kaneland)

FortisBC
Cart purchase
Disc golf baskets
& 10k approx
value

SUMMERLAND RODEO GROUNDS PUBLIC OPEN HOUSE

Place a dot...

Let us know what you would like to see in the new Master Plan. Place a dot on all the activities and amenities that you think we should incorporate!



SUMMERLAND RODEO GROUNDS PUBLIC OPEN HOUSE

Place a dot...

Let us know what you would like to see in the new Master Plan. Place a dot on all the activities and amenities that you think we should incorporate!





















What did we miss?

HIGH SCHOOL RODEOS

P3 PARTNERSHIP?

EQUINE CLINICS

HORSE SHOWS
- BC Games
- Summerland
- Improved Summerland
- Improved Summerland
- Improved Summerland
- Improved Summerland

NO RODEO?

SUMMERLAND STOMP (DANCE)
Last one was weekend event tents.

BARRIER RODEO GROUNDS & GOOD PRECEDENT

OVERNIGHT HORSE CAMPING

HORSES HAVE FUN TO REMAIN DOWNTOWN - NOT BE RELOCATED TO SEE

HORSESHOE FITS
PREFERRED TO BE LOCATED IN MEMORIAL TRAIL PARK.

TRAIL CREEK
BEST END OF PARK FOR HORSESHOE MEMORIAL PARK CURRENTLY IN USE FOR CA YOUNG

HIGH LEVEL ISSUES

EXACT ACRES OF ENVIRONMENTS —

POSSIBLE 2nd ARENA

BIGGEST STAKE HOLDER

- 15 HORSES 100' x 200'
- ENCLOSED OR COVERED ARENA FOR YEAR ROUND FACILITY — 20m x 60m

- 65M x 65M

- EXPAND SMALLER ARENA

- MULTI-USE COVERED ARENA
FALL FAIR

RENTABLE SPACE

- ENCOURAGE YOUNG PEOPLE TO ENTER EQUESTRIAN SPORT
- HORSES NEED "SAFE SPACE"
- DOGS MAY NOT MIX WELL.
- 2 TYPES OF EQUESTRIAN
 - DROP INS - PARKING AREA
 - SCHEDULED
- 4-5 HORSE TRAILERS/DAY * NO TURN AROUND FOR HORSE TRAILER NO COOP TRAILERS
- 20 TRAILERS PER WEEK
- COW DOG - CATTLE DOG - REQUIRES COWS
- EQUESTRIAN CAMPING.
- WORKING EQUITATION -
- AGRICULTURE -
- AGRICULTURAL FAIR -
- OBSITCE HORSE TRAILS -

- EQUESTRIAN MOUNTAIN TRAILS
WITH OBST. LOGS - BRIDGES.
- CAN BE A SHARED TRAIL

BLUE GRASS GROUP

- RESPECTFUL OF HORSES
- MOVE FESTIVAL TO THE "TOP MEADOW"
FOR A SEPARATION
- POSSIBLY A STAGE
- PARKING ISSUE - W/OVER 1000
- POWER - WATER - KITCHEN
- BIG EVENT TENT
- CAMPING IS PART OF BLUEGRASS
FESTIVAL.
- SEPARATE FROM EQUESTRIAN FACILITY

APPENDIX 4

ONLINE COMMUNITY SURVEY #1 RESULTS

The following is a formatted version of the digital online survey that was conducted as part of the public engagement activities for the Summerland Rodeo Grounds Master Plan. The graphs have been formulated via the Survey Monkey website and provide an accurate visual representation of the collective responses given.

All hard-copy submissions of the survey, completed during the November 23 workshop/open-house event, have been added to the results of this report, including any additional written comments submitted by participants.



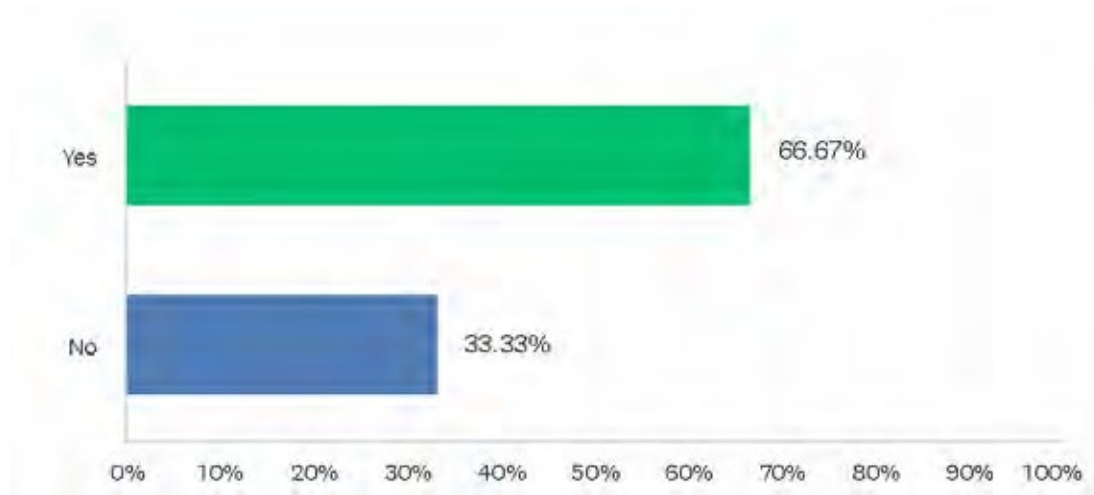
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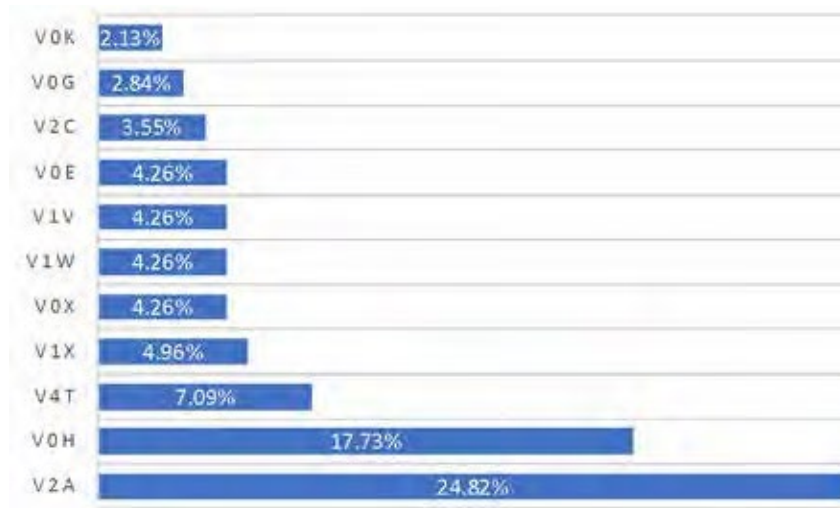
Question 1a

Are you a Summerland Resident?



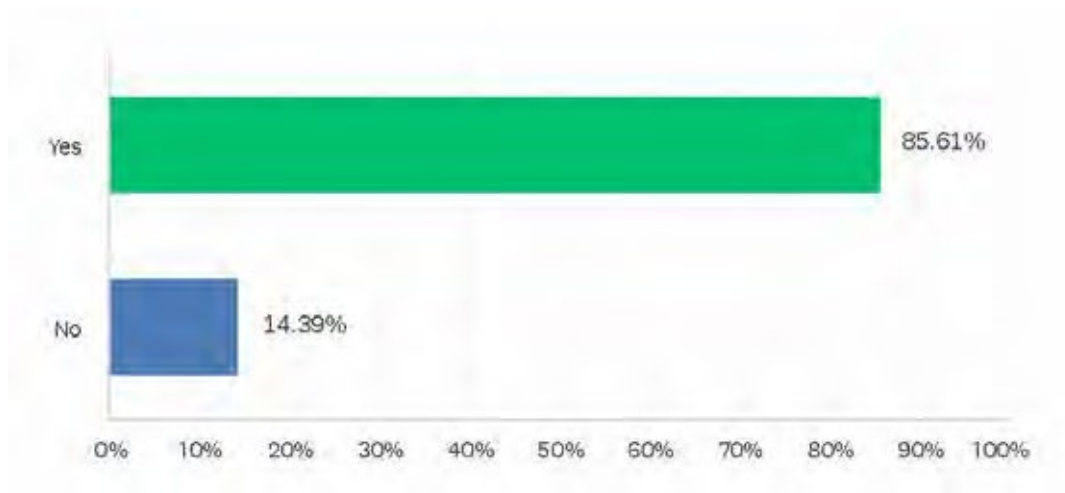
Question 1b

If you are not a Summerland resident, please provide the first 3-digits of your postal code:



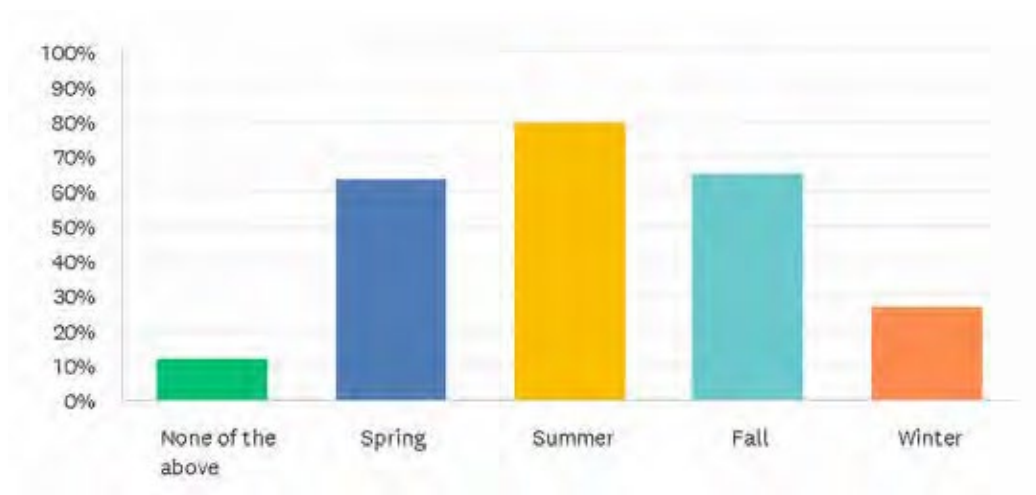
Question 2

Have you visited the Summerland Rodeo Grounds in the last 10 years?



Question 3

During which season(s) do you visit/use the Summerland Rodeo Grounds?



Question 4

What frequency do you and/or members of your household participate in activities at the Summerland Rodeo Grounds property? (check all that apply)

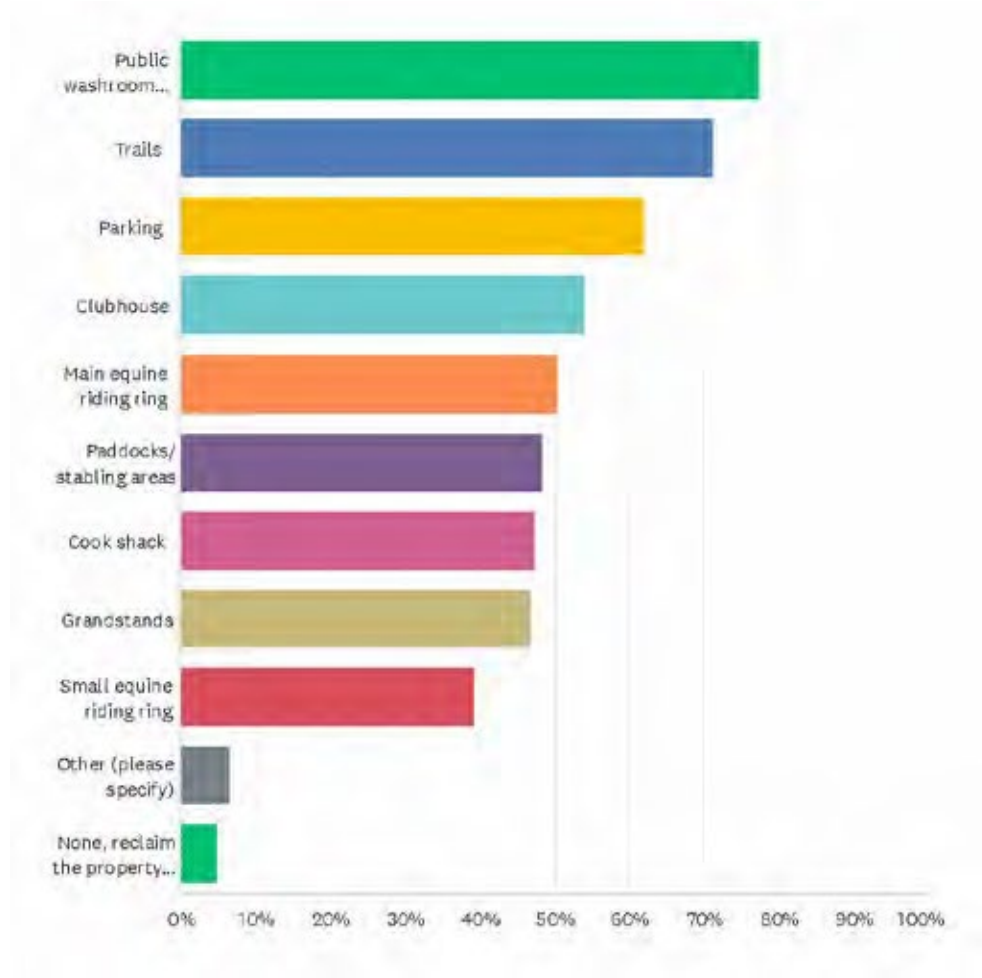


Common "Other" Answers:

- Creek access/swimming
- Train Robbery events
- Long board festival
- New Years Eve party
- Botanizing
- Did not know about any events/Did not know SRG was public facility

Question 5

What current infrastructure do you think is important and should be maintained and upgraded when required? (check all that apply)

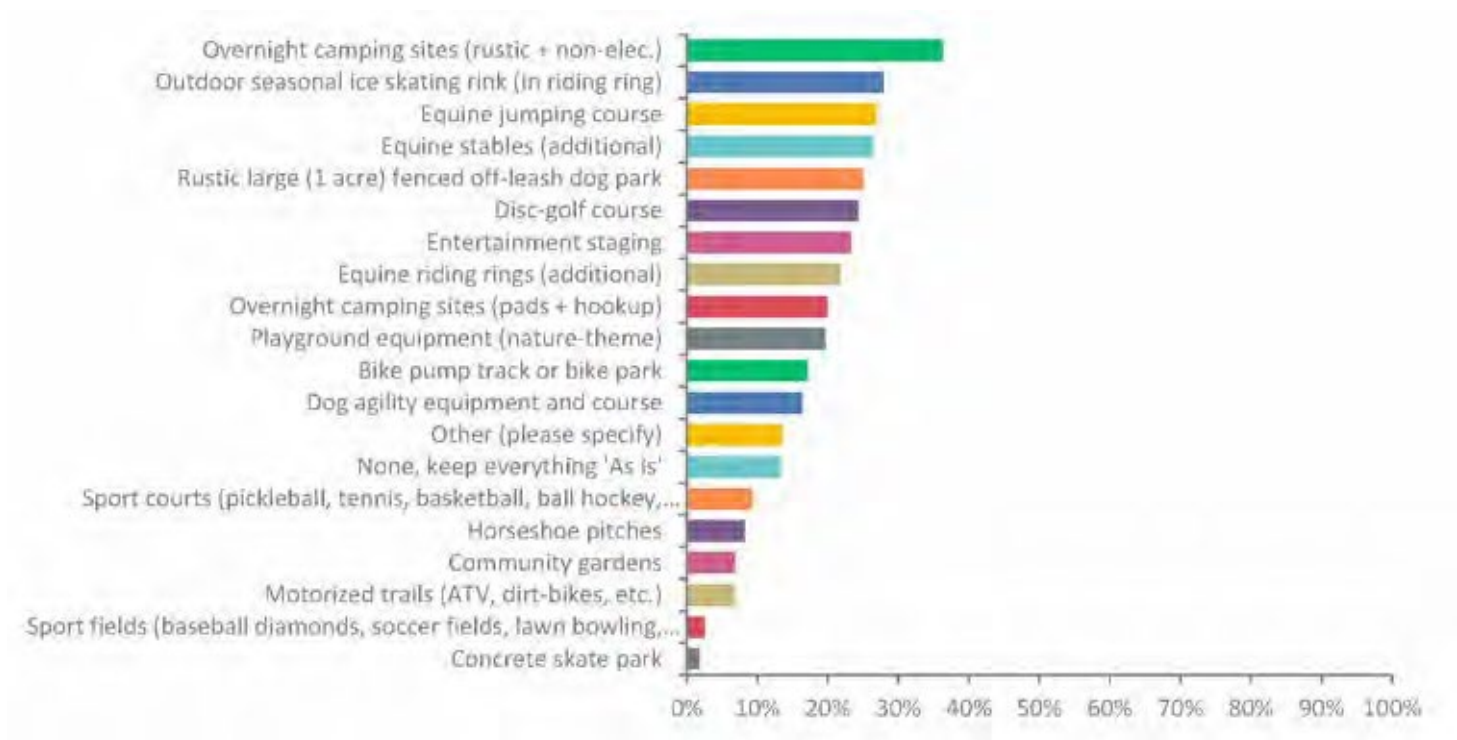


Common "Other" Answers:

- Arena footing

Question 6

What new infrastructure do you think should be added as future planning priorities? (check all that apply)

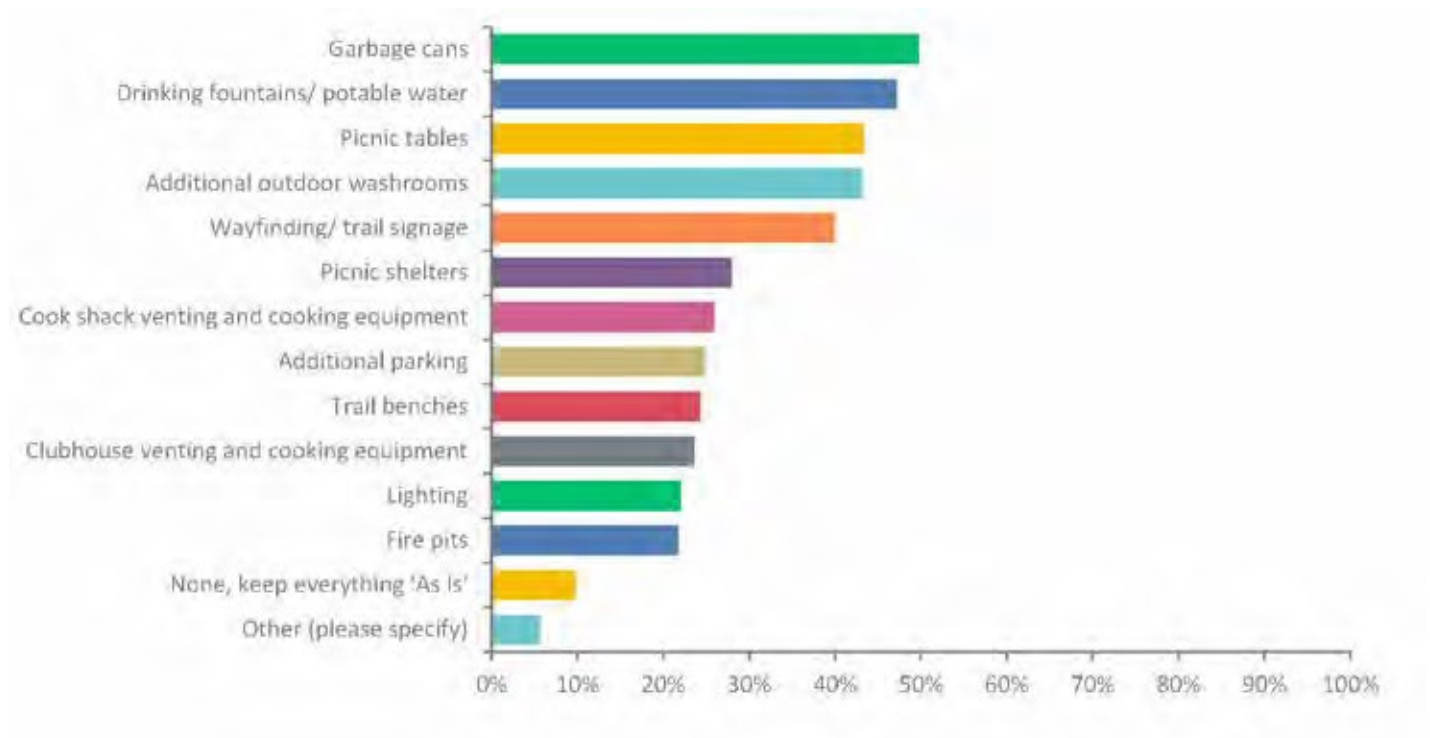


Common "Other" Answers:

- Arena footing
- Covered arena
- Equestrian amenities (roping equipment, mounting posts, mountain trail course)

Question 7

What additional amenities do you think should be considered in future planning priorities? (check all that apply)

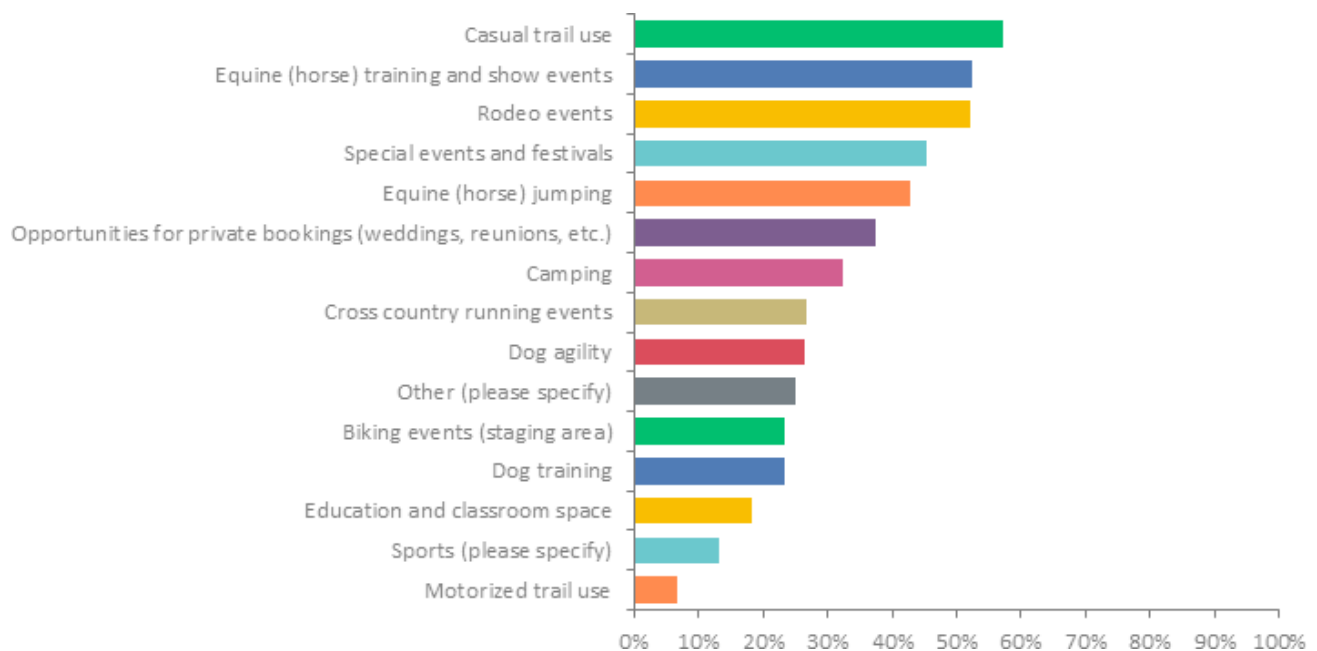


Common "Other" Answers:

- Irrigation for dust control in riding arenas

Question 8

What type of activities would you like to see happening at the Summerland Rodeo Grounds? (check all that apply)



Common "Other" Answers:

- Live music
- Outdoor skating rink/skating trails
- Pump track/bike park
- Disc golf course

Question 9*

What existing feature or aspect of the park is your top priority to be preserved/maintained/upgraded? (optional response)

[The below percentages represent each time a feature or aspect was cited in a response.]

- **61%** of responses cited maintaining, or prioritizing equine related structures and activities on site
 - **22%** specifically mentioned maintaining/upgrading the **riding arenas** (incl. footing)
 - **9%** specifically mentioned maintaining/upgrading the **grandstands**
 - **7%** specifically mentioned maintaining/upgrading the **stabling**
- **27%** of responses cited maintaining access to hiking/biking/horse trails as a top priority
- **24%** of responses cited the existing site structures
 - **8%** specifically mentioned maintaining/upgrading the **clubhouse**
 - **8%** specifically mentioned maintaining/upgrading the **washroom facilities**
 - **7%** specifically mentioned maintaining/upgrading the **cook shack/concession stand**
- **12%** of responses cited wanting to preserve the natural/rustic feeling of the park

Other common responses include:

- **4%** parking/vehicular circulation
- **4%** special event venue space
- **2%** camping
- **1%** signage
- **1%** maintain status quo

Question 10*

What new feature or aspect of the park is your top priority to be added? (optional response)

[The below percentages represent each time a feature or aspect was cited in a response.]

- **25%** improve/expand site amenities
 - **10%** year-round washroom/additional washroom
 - **5%** trail signage/interpretive signage
 - **4%** designated event space (incl. stage area)
 - **4%** year-round potable water source
 - **3%** improve parking/trailer turnarounds
- **20%** improve/expand equine facilities
 - **5%** covered/ year-round arena
 - **4%** day-paddocks
 - **3%** water access/irrigation for harrowing
 - **3%** cross-country horse trails/obstacle courses
 - **2%** improved stables/horse boarding
 - **1%** new grandstands
- **18%** improve/ expand activity infrastructure
 - **20%** disc golf course
 - **12%** additional bike/xc-ski/snowshoe trails
 - **8%** rustic camping sites
 - **6%** mountain bike skills course/pump track
 - **6%** fenced dog park
 - **3%** horse camping sites
 - **3%** dog agility course
 - **2%** tennis/pickleball courts
- **5%** add nothing/keep as is, or upgrade existing structures & amenities only

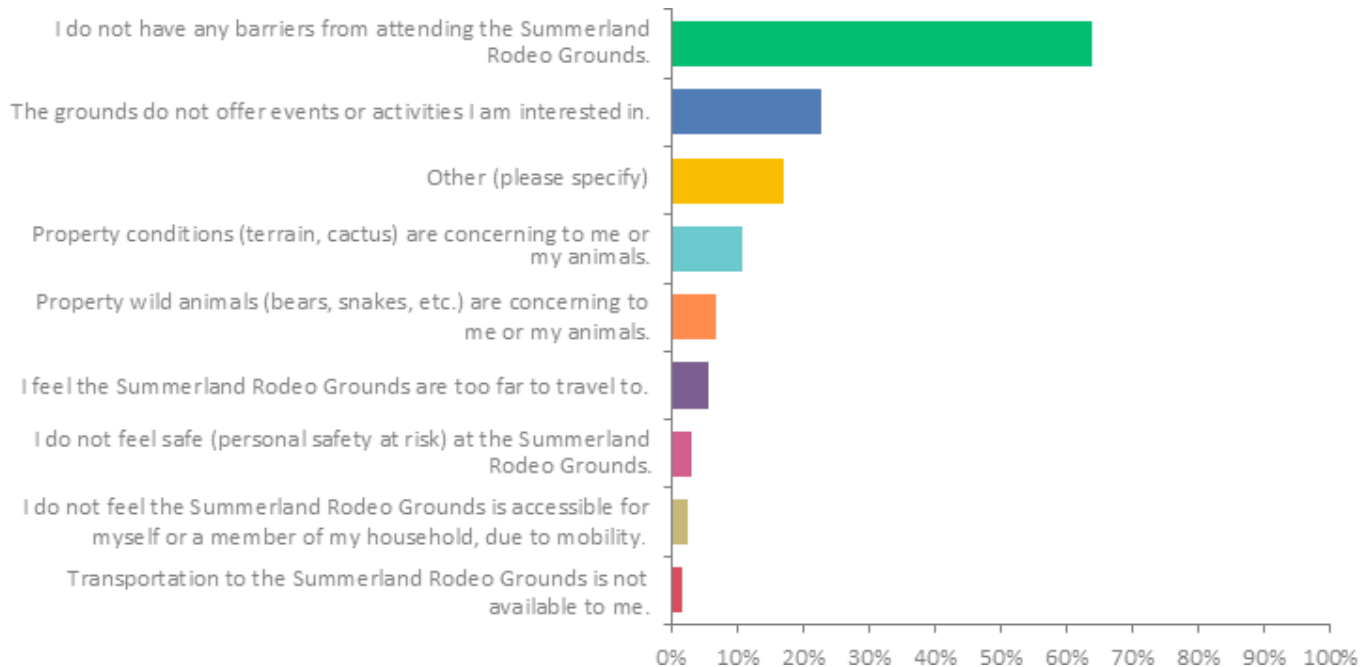
ADDITIONAL SUGGESTIONS:
(**<1.5% ea.**):

- Dedicated educational space
- More family friendly events
- Skating rink/ skating trails
- Designated kids' area/ playground
- Rodeo events
- Picnic benches/covered picnic area
- Fire pits
- Improved wheelchair accessibility

* Voluntary Question - 299 answered

Question 11

What do you feel are the main barriers that keep you from using the Summerland Rodeo Grounds more often? (check all that apply)



Common answers under the choice of "Other":

- Winter - lack of seasonal amenities and/or event opportunities
- General maintenance concerns (particularly arena footing)
- Unaware of what happens at the Rodeo Grounds/lack of scheduled event awareness
- Access road to SRG unfit/safety concern

Question 12

Do you have any final suggestions or comments you would like to contribute? (optional response)

Please keep the land, something out there. It is a wonderful natural area.

Leave the wildlife alone please (re: question 11 about wildlife or cactus limiting access to the rodeo grounds). Please don't add OHV access to the trails, they already see some damage from non-motorized use in poor conditions and they would rapidly deteriorate under motorized use.
An off-leash dog area (or agility area) would be in direct conflict with other trail uses, and if there is significant pressure to add these facilities, they should be fenced and separate (like the riding rings) to reduce user conflict.

I pay to keep my horse in Summerland even though I live in Penticton. A big draw is the availability of horse trails and the Rodeo grounds. That's money into the local economy plus when I buy supplies, gas, food, etc. in Summerland while there.

The trailer? Do we need an onsite caretaker? I think it's a good idea, but it needs to be kept up.

Very happy this facility is getting revamped. As an equestrian who grew up using the facility it's nice to see the attention it is getting. Would love to see more fun safe events happen at the property. My concern for festivals or live music is damage to properties buildings and land from litter, disrespectful people, etc.

It is important to have Rodeo Grounds accessible to all public from those using strollers to those in need of wheelchairs and scooters. We are VERY fortunate to have an equine ring with a treed area for camping where families can be enveloped by nature.

The regional district has higher priority projects that need funding. Keep this park as it is - nice and natural!!!

I believe the Rodeo Grounds are good as-is. The RD has many better uses for its limited financial resources.

Clinics are a good way of strengthening grass roots equestrian competition, and experienced riders need venues to bring young horses along, while inexperienced riders need to go to instructors to school over different types of courses.

Music/dancing events here would be wonderful. We went to one once and it was so much fun!

This space is under-utilized. Let's plan carefully for the future and make it "multiple use" for Summerlanders and tourists!

I hope that any increased traffic (foot/bike/ATV) will not compromise the natural state of the areas around the rodeo grounds (Conkle) and that it will not increase the risks of wildfire in the area. Increased access and sites for camping concerns me for this reason.

If you are to put in a dog park, be mindful of the equines and put it on a different area where horses won't necessarily see them. A lot of horses aren't good with dogs and can cause injuries to people who are riding. Also keep in mind the rodeo grounds are the only place people can afford to ride at for free in our town. If it is taken away, then a lot of people will no longer be able to ride in arenas as most don't have the time or means to travel elsewhere

The addition of motorized vehicles, such as ATVs and dirt bikes would not work with existing users.

If looking for ways to generate financial revenue, please keep the local environment in mind and build low impact on nature infrastructure. Thank you for consulting the community.

I can remember exciting, motorized events as part of action festival were hosted there. Also 4H show events were hosted there. Those were good times.

The Summerland rodeo grounds area does not need to turn into another 'park' with prescriptive playgrounds, and 'features' nature is enough of a feature.

With the right vision, Summerland could attract some events out there and bring more tourism into town.

Host more events there.

Thanks for considering input from the locals!

Please listen to the community-thanks

Please keep it running, but not too commercial.

It is currently underused. Please don't cater to a single focus group such as dog owners or equine. Make it so that there is something for everyone.

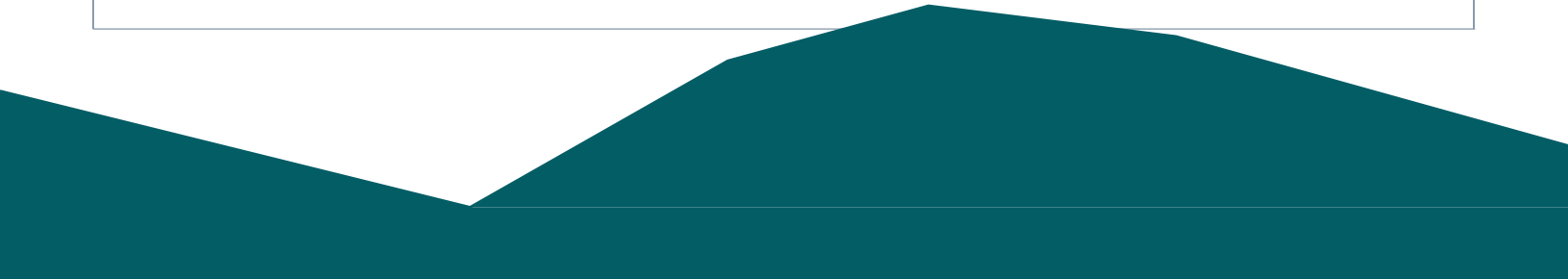
I assume that it was used for rodeo events at one time. How about an agricultural fair? Winter craft market like in Millarville, AB?

Keep it simple

Please keep the Wilderness and trails intact.



Disc Golf is the fastest growing sport in North America. Summerland is the last community in Okanagan that doesn't have a disc golf course
Further enhance Summerland natural trail areas being sure to separate cyclists from others as there are already many shared areas which can be extremely hazardous of walkers/hikers and pets.
It would be great to have an upgraded facility. Grandstand included. Could draw more events.
Disc golf is one of the fastest growing and most accessible sports in North America. It provides a great activity for people who may not be able to afford other activities this valley offers.
Please build a disc golf course! There is a big need for low-cost recreation in the Okanagan, and a serious lack of park land. The Rodeo grounds would be the perfect place for a great disc golf course.
We walk the trails nearby often. Would love to make a day of it if washrooms and picnic areas were available.
Cycling is a very popular activity, and many cyclists are riding multi day tours from Hope to Midway and beyond. "Designated cyclists" camping at the Rodeo Grounds would Enhance the experience and the marketability of this type of Tourism.
A multi-use property that generates money for the District.
Thank you for the opportunity to share my thoughts. When Council discusses reconciliation, please remember that land use planning is an important part of it. If Summerland recognizes that we are in Syilx territory what kinds of meaningful actions can be done? Syilx have the best answers to that. If Summerland wants to know, ask the Syilx.
Hopefully by fixing it up, and having frequent use, it will deter transients from camping there to use drugs.
A partnership with city and private group/society - fund and maintain existing with growth for long-term plan
This is a valuable asset to the equine community and hopefully will be preserved as such!
Summerland Rodeo Grounds have great potential for future income for the District as an equine facility. Similar success has been had in Vernon and Armstrong. The horse community is strong in Summerland.
Good luck! Limited days camping. A safe and marked camping area.
Whatever is planned for this area must also take into consideration the area/land surrounding it. Eg. watershed/KVR/band land/wildlife habitat



Really appreciate having the Summerland Rodeo Grounds. Would love to see more out there - the outdoor playground or obstacle course for kids/young adults sounds like a great idea too.
Outdoor Music festival venue? Better footing in the outdoor arenas if wanting to host more equine related events. Better camping facilities.
I have heard that the environmental assessment of the surrounding area was done poorly and lacks much detail outside of the riparian area. Reassessment of the native species present and their habitat requirements should be considered.
Rental pricing needs to be more aligned with local facilities - such as Summerland Community Centre. Availability should be prioritized or made available for equine bookings. Example - Campbell Valley Equestrian Society/RV park
Once again, keep the SRG primarily as an equestrian facility and PLEASE STOP WASTING TAXPAYERS' MONEY WITH THESE ENDLESS SURVEYS AND TRYING TO FORCE THINGS ON US WHICH WE DO NOT WANT OR NEED.
The Great Trail (TransCanada) - A long time plan for this trail was to pave the portion of the trail to the reservoir. Would make this trail accessible for wheelchairs.
Rental fees are not in line with other facilities. Overnight camping should NOT require full facility rental. Better access to water and harrowing for arenas. Allow for equine activities to book events prior to opening it to outside events (i.e. music/weddings) **Consult existing facilities such as Campbell Valley
Would be nice to combine train and rodeo grounds
The rodeo grounds are an important part of Summerland. There USE to be major rodeos held here, dances, RCMP rides. Money was made, but not put back in. SRG COULD be as big as PRC and bring in the money with major events.
Please, understand that a lot of community members have pets, but live too far from the rodeo grounds to go there and run their dogs on a regular basis. We need a dog park that is closer to town.
Keep horse events still a thing!
Sand for winter riding
Please spray for hoary alyssum again.
Back Country Horsemen of the Okanagan could be interested in a partnership for horse camps

It's been used for horses for many years; would be a shame to have that change. Would be great to have other events so the rodeo grounds can be multiuse (weddings separate from horse events from bluegrass).
"I support some multi-use, but the historical equestrian use and contribution should be acknowledged and primary. Any multi-use/non-equestrian use should not conflict with (or be a danger to) horses and riders. It would be nice to see SRG upgraded/maintained to the same degree as other parks in Summerland e.g. Dale Meadows Park, Peach Orchard Park
Bike Park
Skatepark would be nice or like dirt track
A Wi-Fi location/call booster at arenas for access to help if ever needed. Water too for arenas and fire prepared; additional garbage facilities
Just to repeat for emphasis; there should be no consideration whatsoever for creating a motorized vehicle component to this park. As it is, motorized vehicles can be heard in the vicinity including when on top of Conkle Mountain. To introduce Motorsport use to the rodeo ground area would destroy the peaceful escape from our ever-increasing noise filled world. Positive mental health experiences are hard enough to find already - let's not lose this little bit of easily accessed serene parkland to revving motors!
Leave the park the way it is except for minor improvements. Spend the money on Summerland roads...
A second facility would be neat
Disc golf has been growing like crazy and a course in Summerland would be a fantastic idea. It's not invasive and would bring business to your local shops
The rodeo grounds are a valuable asset, my family values them greatly. Please keep them usable for us riders!
It would be nice to see the area kept as natural as possible while still inviting and usable. To find that human/nature balance.
I feel strongly that this is already a beautiful community area that is utilized by residents. I don't mind the bluegrass festival, the equine use, any staging for events as necessary, but I wouldn't want to see any additional infrastructure developed or for it to be used as a tourist area.
The road out to the rodeo grounds really needs some work
Keep most of nature

I would love to see a rodeo being held at the grounds again and a covered riding area

It is a beautiful natural area which needs to be retained without the inclusion of motorized trail vehicles.

A couple of comments.....

1. Having a long-term vision to keep the rodeo grounds natural and undeveloped is important as land in Summerland becomes densified with development. Residents need a place to connect with nature, a place with open space, and a place not overwhelmed with activities. The rural aspect of the rodeo grounds is a gem and as a community, we need to protect it. Overdevelopment of the space will only devalue this beautiful place.

2. Not knowing a lot about the rodeo space, it would be interesting to know what the community value of the rodeo space is. How often is it used? What types of events are it used for? How many horses are in the community? In the next twenty years will horse/rodeo events increase or decrease, or will this space be needed more for community festivals/events? Having more public information on the community value of rodeo/horse space now and in the future would be helpful to make decisions.

3. As the world and life become more complicated, the serenity of natural space will become more valuable. Long-term planning is crucial when it comes to natural open space, especially for future generations.

"Build it, and they will come. Plain and simple. Look at Peachland rodeo grounds. The parking is horrendous, but the grounds etc are good, and horse people spend lots of time there for events. There is no reason why Summerland cannot do that. None. There used to be rodeos there. Real rodeos. High school rodeo would be amazing at Summerland Rodeo Grounds. There are 8 rodeos a year. Vendors could set up to sell items. Maybe food trucks. Families driving into town for dinner. It can bring money. "

Perfect place for off leash dog park. Away from lots of people and houses. Upgrades to the clubhouse and kitchen would make more opportunities for activities and events. Upgrading the camping and washrooms would help in attracting more bookings for activities.

Work with what you have. Trails for hiking biking walking dogs etc. Picnic tables, garbage cans, public washrooms. Encourage horse related activities, small outdoor concerts etc.

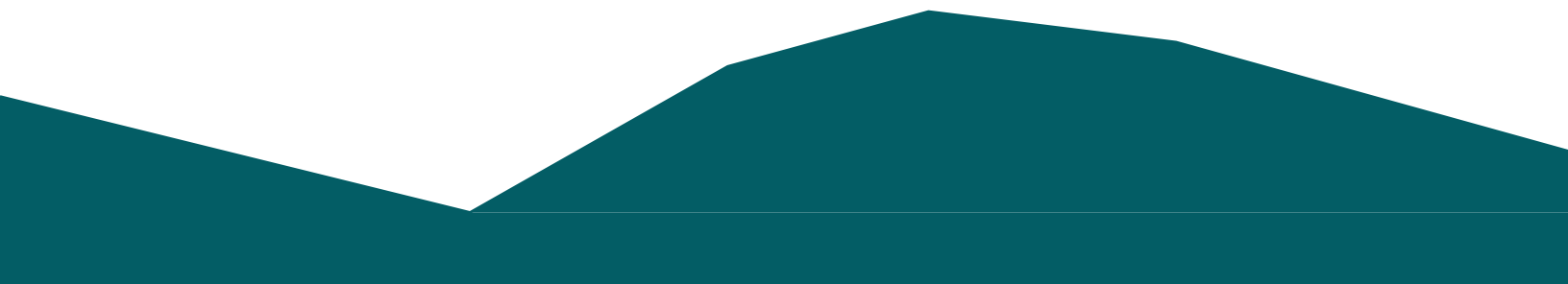
Please keep the Wilderness and trails intact.

The rodeo grounds were developed by equine groups for their use by equine groups. The equine community has spent countless hours developing and managing the grounds and facilities. While multi-use can be incorporated it should not be at the detriment to the equine community. It should remain a primarily equine facility.

Thank you for this opportunity!



It would be devastating to completely change everything about the rodeo grounds. Upgrades are needed and the space should be utilized better, however please do not take it all away without leaving some of it the same.
The south Okanagan or really the whole Okanagan is lacking in the area or bike parks. BMX and mountain biking are huge categories that have participants of all ages. Adding a bike park to the grounds would be a big benefit to the community and surrounding areas.
Disc Golf is the fastest growing sport in the world and offers a great experience without causing major interruptions for the natural setting. When designed properly is an excellent way to get multi use out of the property.
Camping and RV use during events is a big draw, keep space for this use!
We have enough areas in town for sporting activities. The grounds are better suited to equine, camping, festival type activities.
Increase suitable utilization of this beautiful property.
Keep it for the horses/equine community. It's one of the last accesses to trails that we have.
If you build a disk golf course, do it at the top level and plan it well with top level equipment so it can stand out as a destination. It is a great location, however too many communities build half-baked courses which pose limited attraction.
Not useful other than hiking in the area at this point.
I am glad to see that you are seeking input from a wide range of interest groups. It is a large area that has untapped potential. The question: what is the budget and where will the money come from?
Providing people, the opportunity to recreate in relatively unspoiled natural environments should be a pillar of the Parks department mandate. I see this area fitting that bill. Efforts should be made to remove/control invasives and enhance natural assets.
We desperately need sewer expansion, road maintenance/paving by a proper contractor.....not a deputy mayor, etc
Good to have a Master Plan for this municipal property
I love this sight for our endurance rides - we are a pretty no-frills bunch so having a bathroom and a shower is amazing! Our horses will camp literally anywhere!



This has potential to be a more utilized activity hub for the community with hiking, biking, dog park by improving tables and washroom facilities

I think a disc golf course would make a great addition to the events that are already around Summerland and the rodeo grounds...and disc golf is a great inexpensive game That families can play together

This is my #1 concern: My wife and I have lived on Bathville Road for 23 years. There have been some events at the rodeo grounds that have been heavily attended and, as such, have become a parking nightmare. I can recall several times when traffic has parked on both sides of Bathville which instantly renders the road unsafe to travel.

While we support the apparent interest in improving the rodeo grounds and increasing its use, there must also be very careful attention paid to vehicle management. Town Hall is well aware of the increase in commercial vehicle traffic (heavy trucks) along Bathville Road. There must be no parking permitted on either side of the road and I encourage the District, along with the RDOS, to set aside funds for necessary signage to hopefully control this problem.

If I lived nearer, I would be using it all the time as I have horses. It is a valuable asset to the whole area.

Disc golf is one of the fastest growing sports in the world, is inexpensive to play, and is a great low-impact (on the terrain and the body) family activity.

Disc golf

Great asset for Summerland, keep the facilities and have more events there. Music, sports, etc.. keep it rustic and preserve the trails and nature

a great venue and few like it around

As a Penticton resident I would definitely travel to the Summerland Rodeo Grounds more often if there were more activities available, especially a new Disc Golf Course. I already visit occasionally to hike/walk the trails, and the area reminds me a lot of the Three Blind Mice trails in Penticton/Naramata which also holds a popular Disc Golf Course.

Many sports and events can co-exist with the existing use cases (horses), off leash dogs, parks or other dog-related things but do not mix with horses and will be an accident waiting to happen. The skate park makes no sense as it is unlikely skaters will travel a remote location when there is a good skate park in town.

Yes, leave it natural as it is. It's perfectly fine. I used to use Giants head park a lot but since all the upgrades it's lost it's feeling of being in rustic nature. Pls don't do that to the rodeo grounds/Conkle

Please keep the rodeo grounds open to equestrians of all disciplines!



<p>This is a great facility for Summerland horse riders, but caution should be considered when mixing animals/ events, ie. Uncontrolled dogs can spook horses and accidents can easily happen. A general area on the District Website that showed when events were happening up there would also be great. As sometimes, I just want to go up and train/work with my horse, only to pull in and then realize it's booked for something else.</p>
<p>Disc golf is easy on the environment, great exercise for the whole family, easy to learn and hard to master. Very inexpensive. And best of all it helped prevent me having a midlife crisis! Started playing 6 years ago and have been hooked ever since. My wife and two kids now play outside together quite often and we have disc golf to thank for that! Don't judge it until you try it. I promise you that you will love it! Thank you</p>
<p>disc golf</p>
<p>Disc golf is an amazing activity for everyone. Easy and cheap to get into. And courses are low cost and require little maintenance</p>
<p>Disc golf, disc golf and more disc golf. If you need advice or help in building a course, please reach out to the Penticton disc golf club or Kelowna disc golf association and I'm sure we would offer assistance! Good luck</p>
<p>If you build a disc golf course, people will come!</p>
<p>**please add disc golf! Amazing activity that anyone can do!</p>
<p>Thank you for considering disc golf at the rodeo grounds in Summerland. It's a perfect location and there is a considerable need for an 18-hole course in the South Okanagan with accessible parking and moderate terrain that it has.</p>
<p>Being active in disc golf for over 20 years, I've seen the benefits it brings to the community. It provides an avenue for affordable sports while building community. Hosting tournaments brings tourism to the community in the shoulder seasons, as disc golf is played year-round</p>
<p>I hope the Rodeo Grounds are improved and used more frequently.</p>
<p>Disc golf brings so many people to the community for tournaments. People love to camp right at the courses for ease of practice.</p>
<p>I and many others would travel from Kelowna for a good disc golf course</p>
<p>The addition of motorized vehicles, such as atvs and dirt bikes would not work with existing users.</p>
<p>Facility was donated as equine facility and should stay as that</p>

Please consider a disc golf course at the rodeo grounds. It is a great family friendly alternative to traditional golf.

This would be a fantastic space to put in a disc golf course. It's one of the quickest growing sports globally. It would be relatively low maintenance and all ages can play. It will put Summerland on the map if done right. Consult with the founders of The Penticton Disc Golf Club. Great guys with vision to accommodate cycling, hiking, dog walking etc. The 3 Blind Mice Course is a great example of what can be achieved.

I think people should be aware that the facilities cost the Municipality nothing until they took over the maintenance in 1998 when the Summerland Trail Riders gave up their lease.

Keep the horse community thriving

Horses

You guys should add a disc golf course

The Rodeo grounds and surrounding trails are beautiful and good for people who enjoy this type of outdoor activity. As I do not participate in any events other than the one race once a year, I can't, with any accuracy, comment on the park's overall usage. However, I do want to state my strong opposition to a fenced dog park being built on this site. For the last few years, I have been extremely frustrated with the continued mention of a fenced dog park being located on or around the rodeo grounds. This has been brought up too often by the previous council, as some of you may remember. Even though it has been investigated too often, and proven not to be a suitable site, it keeps appearing as a possible site. The Rodeo Grounds are not safe for dogs or their owners. The terrain and location hold inherent serious risks. From bears to cougars and snakes this area is not suitable for most people to use on a regular basis. Not to mention that this site is the most inaccessible location that has been proposed for the fenced dog park. For the majority of dog owners that would regularly use a fenced dog park, this location is the worst. A dog park needs to be accessible to the majority of dog owners. Close to town, family friendly, accessible to people with mobility issues and safe for the users, that is why the Rodeo Grounds should not ever be considered for a fenced dog park. The Rodeo grounds are great for outdoor activities for people that want to participate in various events or recreation in that environment.

Disc golf is a fantastic activity for friends, family, and all experience levels.

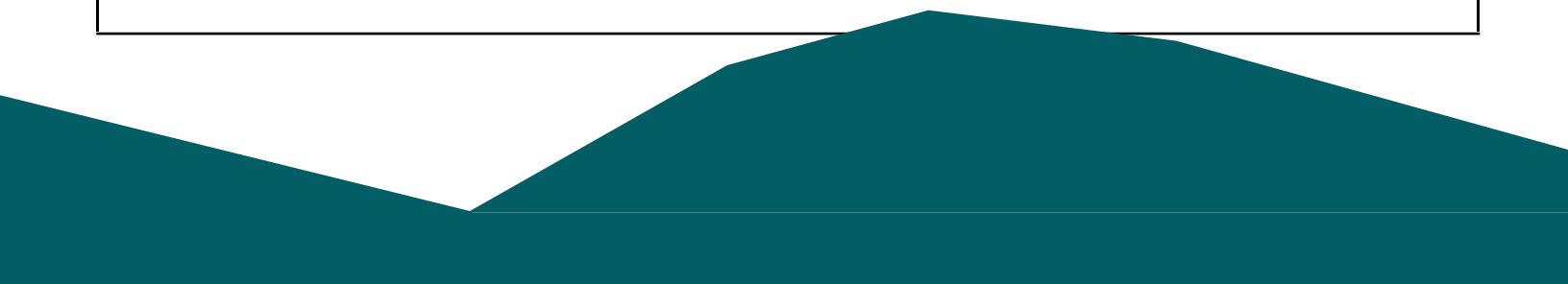
Disc golf has become a very popular sport. I would use a course weekly throughout the year and know many others that would.

Get rid of baseball diamonds by sumac ridge and build something there

Please keep supporting horse activities.



Keep the facility equine with option of keeping the trails and keeping the camping. Provide top quality footing so different associations may rent it.
Indoor Tennis would be a huge credit and draw to not only the citizens that live in Summerland but the entire South Okanagan, and even the entire Province.
SRG is an important part of our culture. It can meet the needs of a vast number of people with many different interests
Continuing maintenance of the buildings and grounds. Love coming there and using it as a base for equine activities
Summerland Trail Riders moved from using the 'old Jersey Club range' to a piece of land in the industrial area of Bentley Road, then to the Ball Park area off of Highway 97 and finally had a long-term lease with the Corporation for the existing Summerland Rodeo Grounds. The Summerland Trail Riders had over 40 years of success keeping the young people of our community busy being involved in very healthy outdoor activities such as horse shows, trail rides, fund raising events and just downright fun and learning the respect for and of animals and humans alike. It is important to keep this facility for riding enthusiasts, as well as any other outdoor activity that would blend well with the natural landscape in the surrounding area.
A disc golf course would add so much to the space
Please keep accessible for horses and horse camping— shrinking resource
Not suitable for off leash dog park! There is no way I would take my dog there!
Would love to see an 18-hole disc golf course on the grounds
Whatever is planned for this area, must also take into consideration the area/land surrounding it. eg watershed/KVR/ band land/ wildlife habitat
We have bigger problems to deal with then the rodeo grounds
I am glad to see that you are seeking input from a wide range of interest groups. It is a large area that has untapped potential. The question: what is the budget and where will the money come from?
Would like to see/participate in equine driving events such as dressage, cones, and marathon. Drawing in participants from the coast and northern BC
Motorized access will have a significant negative impact on other user groups, especially equestrian safety. A dog park and some other activities may also be concern for safety of riders and horses.



I would think that Summerland Rodeo grounds should be better maintained by the city of Summerland. Many times, maintenance has been left to volunteers. This has been used as a multipurpose facility, but it seems that the equine Rodeo grounds committee has put in the most effort to keep it serviceable and maintained. ie: cleanup, painting, building paddocks, arena footing, etc. I would like to see the district do more to support these volunteers!!

Fence peach orchard area for dogs off leash

No dog park at that location. I think the Dog Community made that clear. The city did a survey already about this in 2021 only about 1% of Summerland people with dogs would use it all year around. It would be a waste of tax dollars to focus on that. Focus on keeping and restoring Rodeo grounds. Maybe use some extra land for baseball or pickle ball.

Keep it horsey! we don't have anything in this town but the rodeo grounds.

The SRG has so much potential, and one only needs to visit the Rock Creek fair to see how a small community can host thousands of visitors with a venue like this. We have 4H, Pony club and numerous dog training clubs in our area. Financially it isn't responsible to only cater to one group with a municipal park, but looking at a multipurpose facility would certainly get the support from the taxpayers.

Keep up the good work!

Yes. Please use the revenue to fix Prairie Valley Road as it is the worst road in Summerland, and also the busiest. Shame DOS for not fixing this road. Get 'er done. Such a wonderful facility and underutilized IMO as it's a rat's nest in its present state. Nobody wants to bring their loved ones there for any party.

Keep its heritage and original purpose (equine activities). Equestrian activities are a huge draw, and the industry contributes a huge amount to the BC economy. (See study done by Horse Council of BC). Thanks!

Whatever additional features you want to add I think is great. As long as Summerland doesn't lose the existing infrastructure of the rodeo grounds. I always want to see that space used for rodeo

Please don't waste ANY money on the Summerland Rodeo Grounds. IT IS DEFINITELY NOT SUITABLE FOR A DOG PARK, SO DEFINITELY DON'T WASTE MONEY MAKING A DOG PARK AT THE SUMMERLAND RODEO GROUND.

The rodeo grounds are a great venue for equine events, festivals, and local activities such as markets and more. Summerland is very lucky to have this place.

Considerations to develop the area in conjunction with the Kettle Valley Steam Railway. Complacency facilities, train viewing platform, etc.



I feel it is incredibly important to preserve the facility for primarily equestrian use. I am on board for sharing the space if it is within reason and still allows for safe (and primarily) equestrian use. As equestrians we are getting pushed out of space more and more and we need to preserve what we do have so we still have a safe space to partake in our sport. This property also provides fantastic trail access plus ample and safe trailer parking, which is important. A lot of things don't mix with horses, so that does need to be considered. For example, off-leash dogs, flying discs (disc golf) etc.

I feel there should be better multi-use of the facility. I don't understand why the arenas or parking for the trails cannot be accessed when just the clubhouse is booked, for example. I also feel the rental fees are a little expensive in certain aspects especially when compared to other community spaces. You also should not have to rent the entire facility when you have overnight campers for an event that isn't using the whole facility. For example, we don't use the clubhouse or the cookshack for a lot of multi-day equestrian events, so we should not have to pay a full facility rental just because we have campers.

I feel the arenas should not be used as staging areas for events. You risk there being dangerous garbage left in the footing (nails, glass etc) and it also packs it down. Not having a tractor with a proper groomer makes it difficult to bring the ground back from that.

Booking the venue for non-equestrian events should be done after the equestrian groups are given an opportunity to book. There should be a deadline for the equestrian community to get dates each year. After that date the calendar should open up for non-equestrian bookings. I would respect a few historic events maintaining their dates, like the Blue Grass Festival. It is getting increasingly difficult to find open dates at the grounds to book equestrian events, which should be the primary use of the facility.

Please do NOT 'sanitize' the rodeo grounds, thus making the area restrictive for the very activities enjoyed in a more rural location. Parks & amenities closer to the urbanized core serve such groups.

Would love to see more Equestrian events held at Summerland Rodeo grounds

I hope it is maintained for people and their animals. Dogs, horses. There are numerous places to host weddings another Venue is not needed. If it goes to weddings that will take over and more history will be lost. There will be nowhere for people to go and ride anymore or be outside with animals as easily. However, weddings and events are what makes the money and so that will win I am sure

A gate to the property would be a good addition

It is a very nice facility for our endurance race this year

There have been funds in the district's budget for the Rodeo Grounds for many years yet never utilized. Let's upgrade so that our younger generation has an equine future with many surrounding trails to access

I would visit there regularly if there was a tournament quality disc golf course.

Thank you for letting us have a voice in this!



Though this facility can be used for a lot of different activities, I feel it should remain essentially an Equestrian facility.

Please incorporate a fenced dog park with agility. Remove cactus and make a large dog park.

Maintain an equestrian focus for the facility while accommodating multi-uses. Ensure equestrian access points from parking to Conkle Mountain park are maintained. Respect the "natural park" environment and avoid enlarging the infrastructure footprint.

No pickle ball. No dog parks! As a 3-dog owner, I know there are so many options, as well as sports for people. Let's keep the rodeo grounds for equine.

The Summerland Rodeo grounds are an extremely important equine facility for the entire South Okanagan. Please retain these facilities for use by horse riders and their families.

Love having horse events at the Summerland Rodeo grounds. A few more cleared areas for rustic camping, a bit of outdoor lighting, a few more corrals. Everything is pretty good. Even had a rollicking New Year's Eve party there and loved it. We don't need urban facilities or modern fixtures. The place is clean and in reasonable repair. Feel very safe and welcome.

I think the stands are beyond the cost of being worth repair and the horse pasture has only one use. For the horses. It would be nice to make it another destination park that could host many events. From music in the park to family activities. This is limited to just horse use and should be utilized by all members of the public, not just those with horses. This could even generate revenue for the city if large events were hosted at the Rodeo grounds

Please keep the Wilderness and trails intact.

The Summerland Rodeo Grounds are a unique and integral facility for the local equestrian community, the committee in charge of running equine events has put in a lot over the many years in terms of volunteer hours and general upkeep of the facility from repainting the grandstands to picking rocks. In my opinion the facility needs some TLC from the district and given the potential to host some amazing events as it has done in the past, not to be ignored or turned into pickleball courts.

Motorized access will have a significant negative impact on other user groups, especially equestrian safety. A dog park and some other activities may also be concern for safety of riders and horses.

Please preserve your wonderful rodeo grounds!

APPENDIX 5

WHAT WE HEARD REPORT #2

SUMMERLAND RODEO GROUNDS

COMMUNITY ENGAGEMENT SUMMARY #2

April 2023



COMMUNITY ENGAGEMENT SUMMARY

This report represents the compilation of broad-spectrum feedback received during community engagement events throughout February and March 2023.

The intent of the report is to provide an overview of community members opinions and desires, regarding future use of the Summerland Rodeo Grounds site and will become a core part of the development of the Master Plan concept design and final project report.

The opinions, wants and needs of all engagement contributors will be considered throughout the design process. The final project report and draft Master Plan will include the design rationale behind each of the planning choices and will reflect the information and feedback collated in this report.



Ecora Engineering & Resource Group Ltd

2045 Enterprise Way Kelowna, BC

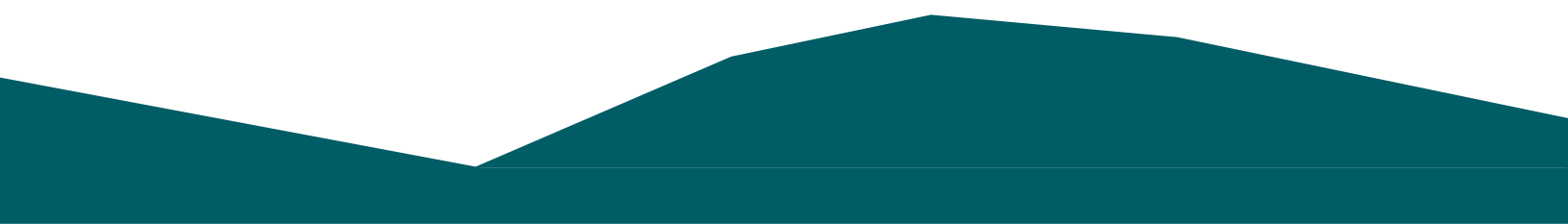
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1. INTRODUCTION

1.1 BACKGROUND

In the Fall of 2022, the District of Summerland retained the services of Ecora Engineering and Resource Group to act as consultants in creating a comprehensive Site Master Plan. This process started with a thorough site assessment, including environmental and structural evaluations, District staff and Council engagement as well as a community workshop and open house.

The Summerland Rodeo Grounds (SRG) project was initiated by the District of Summerland's commitment to the 2018 Parks and Recreation Master Plan which provides strategic direction to the District regarding park use, facilities and services. One of the recommendations from the 2018 report is to undertake a Master Plan for the Rodeo Grounds, exploring community needs and possible uses for the site, service requirements and costs and possible operating arrangements.

1.2 PROJECT SCOPE & PURPOSE

The overall expected outcomes of the Summerland Rodeo Grounds Master Plan (the "Plan") project are to:

- Provide a long-term vision for the property
- Provide staff with direction on property operations and management
- Provide recommendations for operational requirements and capital investments, including costing over the next 15 years

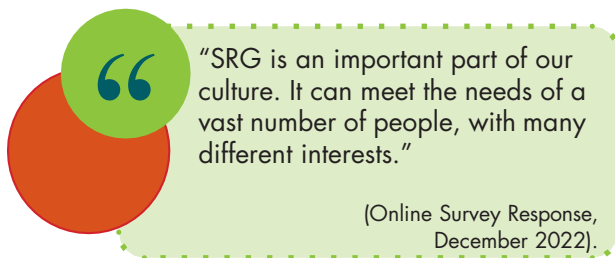
1.3 SITE OVERVIEW

The Summerland Rodeo Grounds are located at 17202 Bathville Road and occupy 73.76 acres of rolling parkland property. The Rodeo Grounds property is bordered to the east by Conkle Mountain Park, by Trout Creek along the south and west edges and the Trans Canada Trail and Kettle Valley Railway on the north side. The property has long been owned by the District of Summerland, with the operation of the Rodeo Grounds coming under the direction of the Parks and Recreation Department in the mid-1990s and is zoned as Parks and Recreation (PR2).

In addition to a multitude of informal trails, the site itself currently includes several existing structures and facilities, including: three outdoor grandstands, both a large and small riding ring, a clubhouse building, concession shack, public washroom, some stabling enclosures, an area to accommodate a self-provided trailer for the on-site caretaker, as well as small storage building.

2. COMMUNITY ENGAGEMENT

The intent of the engagement and consultation process is to involve the community in the planning process before moving forward in creating a Master Plan for the Rodeo Grounds site. By engaging citizens as part of the design consultation process, the District of Summerland and consultant team are seeking to develop a unique and appropriate long-term vision for the grounds, based on a foundation of broad community input.



Meaningful engagement with all community members allows the District of Summerland and the consulting team to better achieve the time, scope, quality, cost, and engagement targets established at the outset of the project. Engagement improves transparency, accountability, and trust between all parties.



2.1 PROJECT TIMELINE

2022		
Project Start Up Site Visit	13	Oct
Meeting with Parks and Recreation Advisory Committee	18	
Key Contributor Workshop		
Public Open House	23	Nov
Online Public Survey Opens		
Engagement Review with City Council	12	Dec
Online Public Survey Closes	15	
2023		
Preliminary engagement report Available Online	Mid	Jan
(Two) Master Plan Concepts presented		
Public Open House	28	Feb
Online Public Survey Opens		
Online Public Survey Closes	15	Mar
Consolidated Concept Development & Review		Apr/May
(draft) Final Report for Staff Review	26	June
Key Contributor/ public review of (draft) Final Report		July
Final Report submitted to DOS Staff and Council	7	August
Final Submission of Project Deliverables City Council	29	August

**WE ARE
HERE**

2.2 PHASE-1 ENGAGEMENT

Preliminary engagement opportunities throughout Phase 1 of consultation, were created to receive feedback from both District of Summerland Council, Parks and Recreation Advisory Committee, Parks and Recreation staff, key contributor user groups as well as the public.

MUNICIPAL CONSULTATION

PARKS & RECREATION PROJECT TEAM

In mid-October 2022, the consulting design team facilitated an on-site working session at the Rodeo Grounds with the District of Summerland project team, which included a review of the site background and history; an assessment of the site and current amenities, as well as the identification of key user groups to be consulted.

PARKS & RECREATION ADVISORY COMMITTEE

On October 14, 2022, representatives from the consulting design team attended the Summerland Parks and Recreation Advisory Committee meeting, to present and gather feedback on the visioning of the Rodeo Grounds. Primary takeaways from the consultation with the Parks & Recreation Advisory Committee include learning:

- The Rodeo Grounds is a unique and valuable asset within the region
- Any new plan should include a broad-spectrum of community appeal
- The site should maintain some element of its equestrian heritage and that the rustic, natural aesthetic of the park, especially any environmentally sensitive areas, should be prioritized and protected

CITY COUNCIL

On December 12, 2022, representatives from the consulting design team (virtually) attended the District of Summerland's standing monthly meeting. Councilors were offered a full briefing of the site and project scope, as well as a review of preliminary survey trends received up to that point in time. (The online survey was officially closed 3-days later, on December 15). Additional feedback and input from Council, continued to be sought during Phase 2 of engagement, in response to the two Master Plan concepts presented.

COMMUNITY CONSULTATION

KEY CONTRIBUTOR WORKSHOP

As part of a concerted effort to ensure primary user groups of the Rodeo Grounds were distinctively heard, several active and regular user groups, identified at the start of the project, were invited to a Key Contributor Workshop on November 23, 2022. In total, 14 people representing nine different user groups attended the workshop event. Each group was given an opportunity to discuss their historical relationship with the Rodeo Grounds and convey their group's vision and/or concerns regarding any future development of the site.

COMMUNITY CONSULTATION (continued)

PUBLIC OPEN HOUSE

Directly following the contributor workshop, the general public, was invited to attend an open-house information session, which offered an overview of the current site and sought input from the public on visions for the future. In addition to completing a written survey, attendees to the open house were asked to indicate their preference for certain activities, events or park amenities using a 'dotmocracy' survey method.

Dotmocracy, also known as dot-voting or idea rating, is a fun and informal technique used to select options or make decisions. For this open-house, attendees were presented with an array of images reflecting possible park activities, events, or amenities.

Each participant was then invited to "vote" for their favorite options by placing stickers on the photo representing a preferred choice. In addition to placing voting-dots, participants were encouraged to add any additional ideas or comments, they did not see represented by the image options.



Above: Poster announcing the open-house event on November 23, 2022



Above: Example of the 'Dotmocracy' panels showing results of the visual survey

2.3 PHASE-2 MASTER PLAN OPTIONS

MASTER PLAN DEVELOPMENT

With feedback from the first round of public engagement activities in-hand, two Master Plan concepts were developed, incorporating, and expanding on the input and feedback received. The two resulting Master Plan concepts (below) were used as reference for a new round of engagement feedback sought from both District Council, as well as the general public during the second public open-house and subsequent online survey.

SUMMERLAND RODEO GROUNDS PUBLIC OPEN HOUSE #2

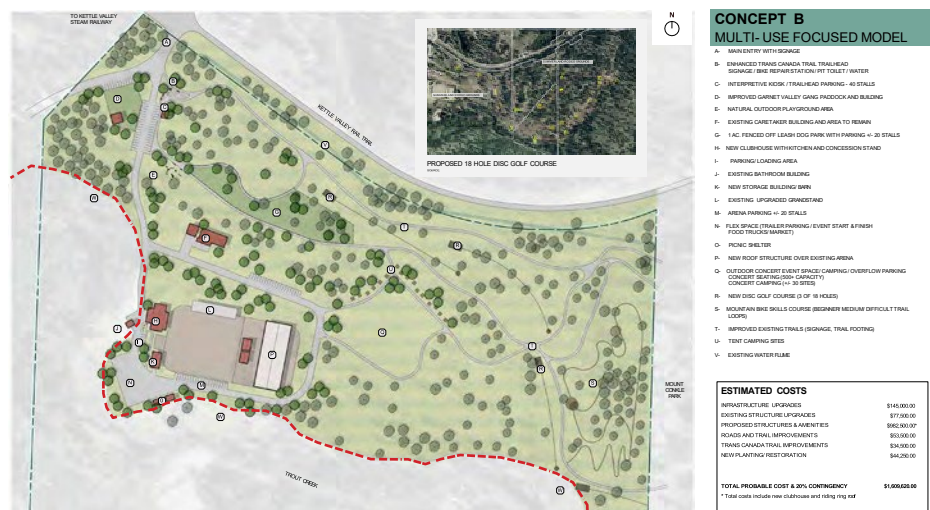


Summerland Rodeo Grounds Master Planning Public Open House - Tuesday February 28, 2023

Presented By: **DISTRICT OF SUMMERLAND** **ecora**

Conceptual Master Plan - Option A

SUMMERLAND RODEO GROUNDS PUBLIC OPEN HOUSE #2



Conceptual Master Plan - Option B

Summerland Rodeo Grounds Master Planning Public Open House - Tuesday February 28, 2023

Presented By: **DISTRICT OF SUMMERLAND** **ecora**

2.4 PHASE-2 ENGAGEMENT

MUNICIPAL CONSULTATION

REPORT TO SUMMERLAND COUNCIL

Both conceptual master plans were presented to Summerland District Council on February 13, 2023. Along with the two plans, the presentation included previous feedback from the first open house, environmental mapping overall guiding themes and an update on the structural integrity of certain SRG buildings and structures.

ONLINE SURVEY

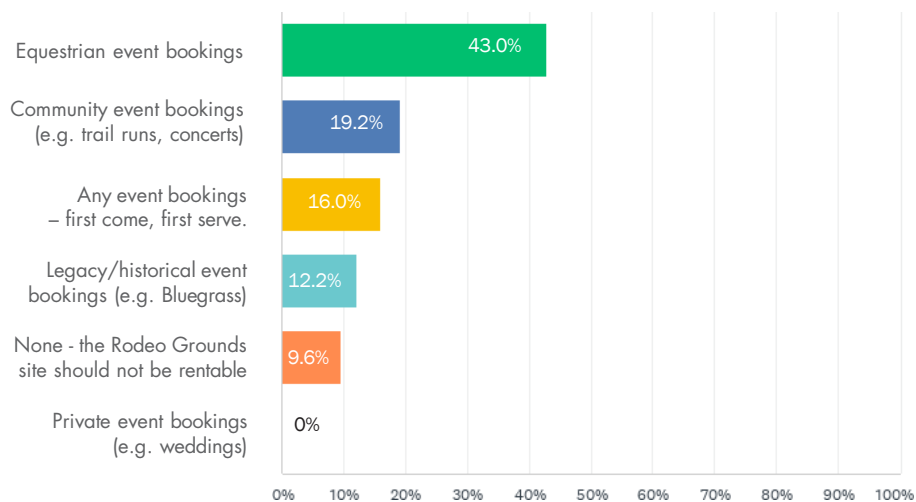
The online survey was available to all members of the public between February 28 and March 15, 2023. The purpose of this public survey was to gather information and get an in-depth understanding of the community's vision for the SRG. With both design options available for review and more detailed questions on the design, the goal was to understand what elements of the design are most desirable and why.

In total, 245 participants completed the survey, with approximately 60% identifying as Summerland residents. Along with over a dozen pointed questions, the two master plan concepts were included as well as some high-level costing to help inform participants.

While paper copies of the survey were made available, all but three respondents chose to fill them out online.

Question 13

SHOULD SITE-RENTAL AT THE RODEO GROUNDS PRIORITIZE... ?:



Above: An infographic example of the categorized feedback received to one of the survey questions

COMMUNITY CONSULTATION

PUBLIC OPEN HOUSE

With direction from the District Council and Parks staff consultations, two master plan options were finalized and presented to the public in an open-house forum, on February 28, 2023, at the George Ryga Arts and Cultural Centre in Summerland. A total of 42 attendees, including key contributors and general public users were present to provide valuable feedback and opinions regarding the proposed master plan concepts.

Along with the panels, a large aerial photo of the site was present and became a focal point of many discussions allowing participants to point out current uses, issues and provide valuable information relevant to the final design.

CTV-News video coverage of the event can be found at:

<https://globalnews.ca/news/9519087/summerland-rodeo-grounds-master-plan/>

SUMMERLAND RODEO GROUNDS
MASTER PLANNING EVENT

DESIGN - CONCEPTS
OPEN HOUSE

TUESDAY FEBRUARY 28, 2023
4:30PM to 6:30PM

GEORGE RYGA ARTS & CULTURAL CENTRE
9525 WHARTON STREET | SUMMERLAND, BC

COME HAVE YOUR SAY!

- View design concepts for the Summerland Rodeo Grounds that reflect Community and District input
- Speak with District Staff and Design Consultants about the project

TAKE THE ONLINE OPEN-HOUSE SURVEY
02/28/23 to 03/15/23

Review the design concepts, let us know your thoughts and help shape the future of the Rodeo Grounds site!

For more information on the project, visit www.summerland.ca/rodeo-grounds-master-plan

Presented by: **DISTRICT OF SUMMERLAND** **ecora**

Poster announcing the open-house event on February 28, 2023

SUMMERLAND RODEO GROUNDS PUBLIC OPEN HOUSE #2

CHARACTER IMAGES

Panel showing 12 character images related to the Summerland Rodeo Grounds project.

SUMMERLAND RODEO GROUNDS PUBLIC OPEN HOUSE #2

STRUCTURAL ASSESSMENT OVERVIEW

In November 2022, a visual non-destructive review of the existing structures, was undertaken to determine the following:

- Document any damage to the existing structure.
- Determine the presence of safe load paths.
- Review structures to determine if there have been any alterations which have changed the original design intent, to our best knowledge.

The final structural report was submitted to the DGS Project Team, on December 1, 2022 and is currently under review. Structural recommendations will be published as part of the final Master Plan report. The below summaries of key site structures have been extracted from the Structural Report and offer an indication of status, as staff continue to assess options for the coming season.

WATER	ELECTRICAL	SEPTIC
<ul style="list-style-type: none"> West-Summerland Hall (1988) services the Caribannan residence, bathroom building, clubhouse, and KY Railway building. Certing is known to be failing. Water has high turbidity and current solutions are not sustainable. Based on age and failing certing a new well is most likely the most cost-effective solution. 	<ul style="list-style-type: none"> Current electrical needs are being met. Any additional requirements will likely require an additional transformer. Based on desired new uses either a pole mounted or pad mounted transformer would be needed. Pole mounted would be most cost effective for this site. 	<ul style="list-style-type: none"> Research is ongoing into existing conditions and requirements.

Panel showing structural assessment overview and findings.

Open-house panels from February 28, 2023

EMERGENT THEMES

The emergent themes from the first round of public engagement seemed to still be present but the detailed concept plans allowed for more engagement into the specifics of the design.

REVITALIZATION: Feedback recognized the need to revitalize the SRG through upgrades and updates to existing buildings, structures, and servicing as well as the introduction of new opportunities like disc golf, mountain biking and trail expansion.

NATURAL PRESERVATION: The rustic nature of the site and buildings along with the ecological uniqueness to the area remains a strong draw and a high priority to respondents.

EQUESTRIAN VS MULTI-USE: The majority of respondents chose a multi-use approach to the site, but safety and conflicting uses are a concern. While the multi-use supporters feel that there is enough space for all groups, the equestrian supporters believe that a mixed-use approach may result in conflicts and safety issues. While the multi-use concept does have support amongst respondents, there is a clear line on what that looks like between the two groups.

SAFETY & MAINTENANCE: Potential user conflict is a repeating theme for equestrian supporters. Dog and horse conflict is a well know issues amongst horse riders, with most riders expressing multiple risky encounters with off leash dogs in their lifetime, while the potential for conflict between horses and disc golf was described as a potential problem.

LOSS OF LOCAL EQUESTRIAN FACILITIES: It was identified that there are few remaining public access equestrian facilities in British Columbia, and that this could become an asset if properly managed.

COSTS: Feedback from both the survey and in-person conversations at the open-house indicated that the costing estimates provided for proposed facility upgrades and/or new construction seemed low. While costing remains a concern for most respondents, and will be refined for the final report, cost did not seem to factor into how people prioritized their decisions.

ADDITIONAL INPUT

Several groups and individuals have presented additional information and input on the SRG's potential master plan, after the second open house. This information will factor into the final design as well and can be found in the following Appendices:

- **APPENDIX C** - Summerland Rodeo Grounds Equine Development Committee
- **APPENDIX D** - Garnet Valley Gang
- **APPENDIX E** - Disc Golf Presentation

3. CONCLUSION

3.1 OVERVIEW - PHASE-2 MASTER PLANS & ENGAGEMENT

With more engagement activities completed, the following summarizes the principles and themes that will help to guide the final design and report.

The following numbered summary provides an overview of the main themes that emerged from responses to the online survey. Detailed responses to each survey question can be found in **Appendix A** of this document.

1. The multi-use master plan (40%) had marginally more support than the equestrian priority (35.8%). One fifth of all respondents found that both concepts had elements they could support.
2. The majority of respondents (76.1%) believe that the SRG should facilitate some multi-use activities, however opinions regarding the variable compatibility of certain activities remain divided.
3. Existing arena-fencing, footing, and bleachers, as well as site water and servicing rank the highest among facility users would like to see repaired and improved.
4. Trail enhancement and expansion is strongly supported by the majority of all respondents.
5. An improved and enhanced connection to the Trans Canada Trail is strongly supported.
6. Site bookings should cater mostly to equestrian events and/or those appealing to a common community interest. Zero respondents (0%) chose private event bookings (such as weddings or reunions) as a preferred priority regarding site booking options.
7. There is slightly more support for an off-leash dog park than not, however an off-leash dog park was ranked as the ninth (last) priority for any new multi-use focused amenity to be added.
8. Providing on-site camping is strongly preferred by many respondents. Over 60% would prefer the usage remains for onsite events only, while the remaining 30% may be open for additional users and groups.
9. There is strong support for the creation of a Disc Golf Course, however an equally committed cohort of users have voiced strong opposition to the development of this amenity at the Rodeo Grounds site. A bike skills park has slightly higher support in general.
10. Additional washrooms and cleaning facilities are highly supported along with improved access to potable water.

A decorative graphic at the bottom of the page consisting of a solid teal shape with a wavy, undulating top edge that spans the width of the page.

APPENDIX B

OPEN HOUSE PANELS

SUMMERLAND RODEO GROUNDS PUBLIC OPEN HOUSE #2

WELCOME

Thank you for taking the time to attend the Summerland Rodeo Ground's public open house. These panels are here to provide you with information about the current site and to inspire park improvement ideas for the future.

The District of Summerland staff and members of the design consultant team are here to answer any questions you may have about this project. Please take your time and read through all the information and let us know your vision for the future of the Rodeo Grounds site!

WHY ARE WE HERE?

The 2018 District of Summerland Parks & Recreation Master Plan recommended that the District: "Undertake a master plan for the Rodeo Grounds, exploring community needs and possible uses for the site, servicing requirements and costs and possible operating arrangements".

The overall goals for the project, partly facilitated by the engagement process are:

- Provide a long-term vision for the property.
- Provide staff direction on property operations and management.
- Provide recommendations for operational requirements and capital investments including costing over the next 15 years.

Like many smaller communities, one of the main challenges for the District of Summerland is balancing demand for park services with available resources. As the Summerland region grows in both population and popularity the shared community spaces must grow and mature, to meet your needs.

Recognizing the Rodeo Grounds as an important part of the District's cultural heritage, and a vital piece of the region's natural land reserve, direct input from Summerland residents will be key to envisioning a successful future Master Plan of the site.

HAVE YOUR SAY!

Nobody understands Summerland and the Rodeo Grounds like you, and we are here to listen. Please take this time to review our panels, meet the team and share your thoughts. We have several options for you to share feedback, both here and on-line, and let's hear what you have to say!

For more information on this project, please visit:
www.summerland.ca/rodeo-grounds-master-plan

Summerland Rodeo Grounds Master Planning Public Open House - Tuesday February 28, 2023

Community Survey QR-Code:



PROJECT TIMELINE

		2022
Project Start Up Site Visit	13	Oct
Meeting with Parks and Recreation Advisory Committee	18	
Key Contributor Workshop		
Public Open House	23	Nov
Online Public Survey Opens		
Engagement Review with City Council	12	Dec
Online Public Survey Closes	15	
		2023
Preliminary Engagement Report Available Online	Mid	Jan
(Two) Master Plan Concepts presented Public Open House	28	Feb
Online Public Survey Opens		
Online Public Survey Closes	15	Mar
Consolidated Concept Development & Review		
90% Master Plan & Engagement Review with City Council	24	Apr
Final Submission of Project Deliverables to City Council	15	May

WE ARE HERE

SUMMERLAND RODEO GROUNDS PUBLIC OPEN HOUSE #2

EXISTING SITE



MAIN RIDING RING, STABLES & GRANDSTAND



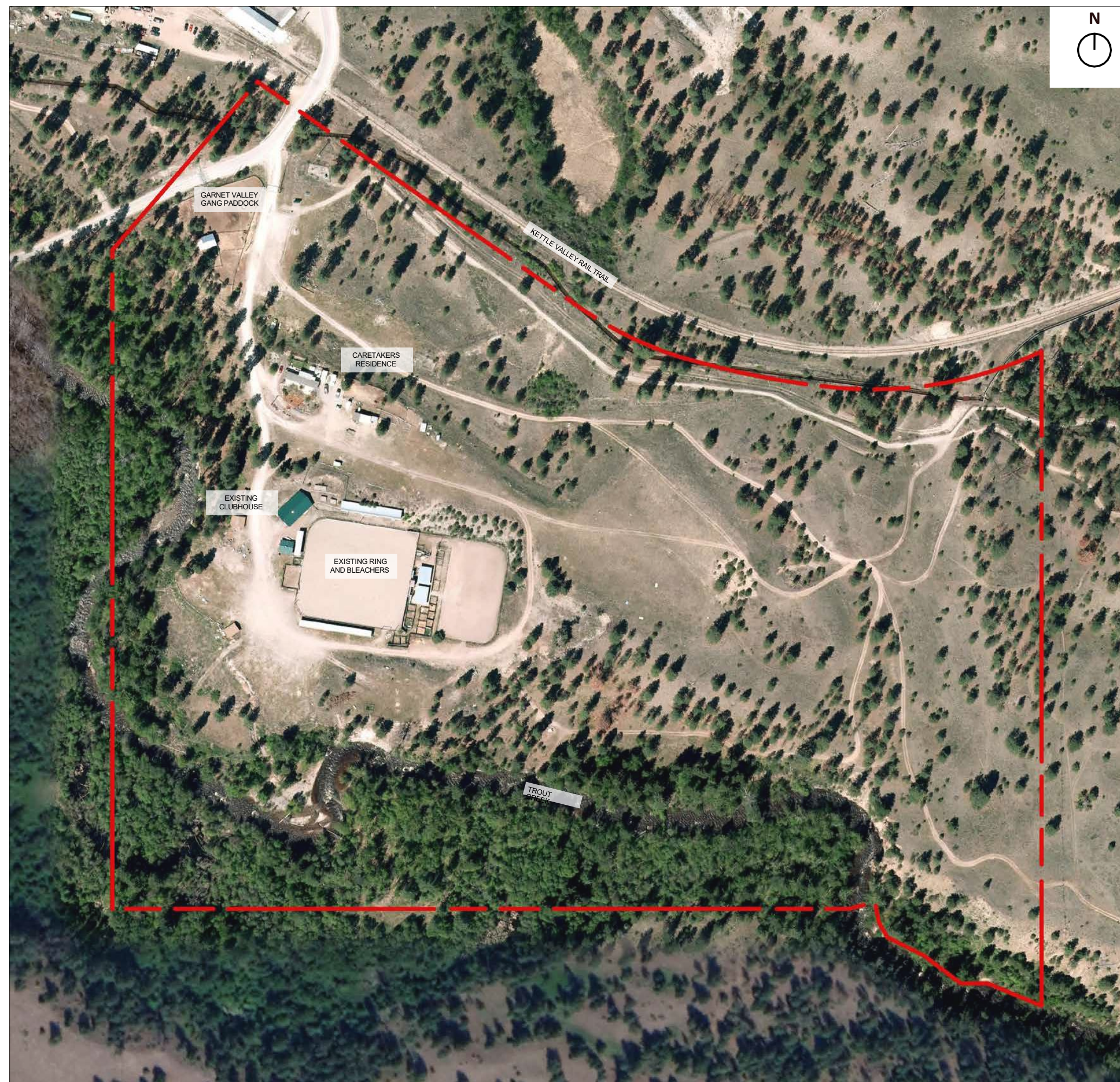
TROUT CREEK



MAIN ENTRANCE/ TRAILHEAD PARKING



EXISTING TRAIL ALONG TROUT CREEK ENBANKMENT



PRIMARY CENTRAL MULTI-USE TRAIL (EAST-WEST)



TRANS-CANADA TRAIL (NORTH PERIMETER)



AMENITY BUILDINGS AND GRANDSTAND



ACCESS LOOP ADJACENT TO EAST EDGE OF RIDING RINGS

SUMMERLAND RODEO GROUNDS PUBLIC OPEN HOUSE

ENVIRONMENTALLY SENSITIVE AREAS



ENVIRONMENTAL ASSESSMENT SUMMERLAND RODEO GROUNDS SUMMERLAND, BC

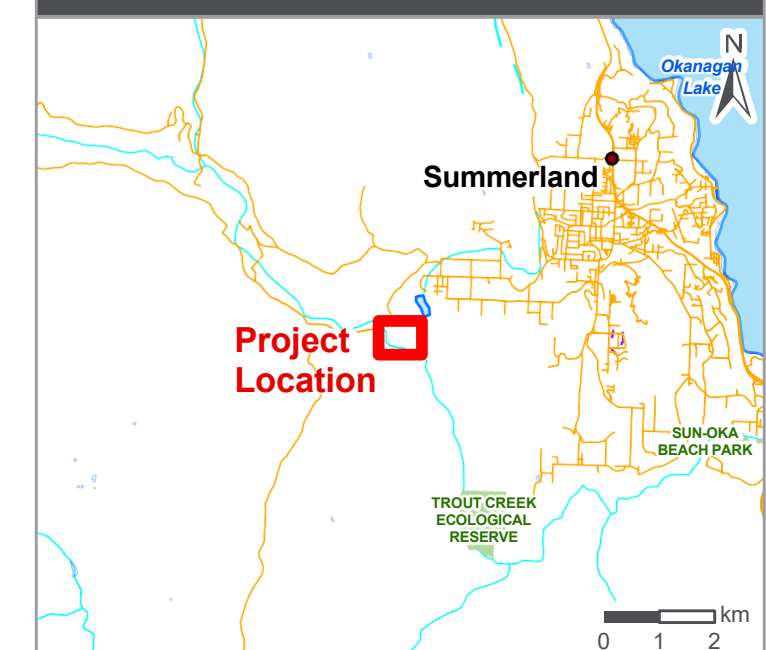
Legend

- 20m TRIM Contour Lines
- Fresh Water Atlas Streams
- Digital Road Atlas Roads
- PMBC Legal Parcels
- ESA Ranking**
 - ESA 1 - High
 - ESA 2 - Moderate
 - ESA 3 - Low
 - ESA 4 - Not Sensitive

References

Aerial Imagery: City of Summerland, 5/9/2020

LOCATION MAP



1:2,500

0 50 100 150 Meters

Project No.: 221114

Date: 2022/11/22

Client: City of Summerland

Drawn: SC Check:

NAD 1983 UTM Zone 11N

Figure 1.0



SUMMERLAND RODEO GROUNDS PUBLIC OPEN HOUSE #2

RIPARIAN AREAS REGULATION SETBACK ASSESSMENT



ENVIRONMENTAL ASSESSMENT SUMMERLAND RODEO GROUNDS SUMMERLAND, BC

Legend

- RAPR Trigger (30m)
- Top of Bank
- 20m TRIM Contour Lines
- Fresh Water Atlas Streams
- Digital Road Atlas Roads
- Property Boundary
- PMBC Legal Parcels

References

Aerial Imagery: City of Summerland, 5/9/2020

LOCATION MAP



1:2,500

0 50 100 150 Meters

Project No.: 221114
Client: City of Summerland

Date: 2022/11/22
Drawn: SC Check:

NAD 1983 UTM Zone 11N

Figure 2.0

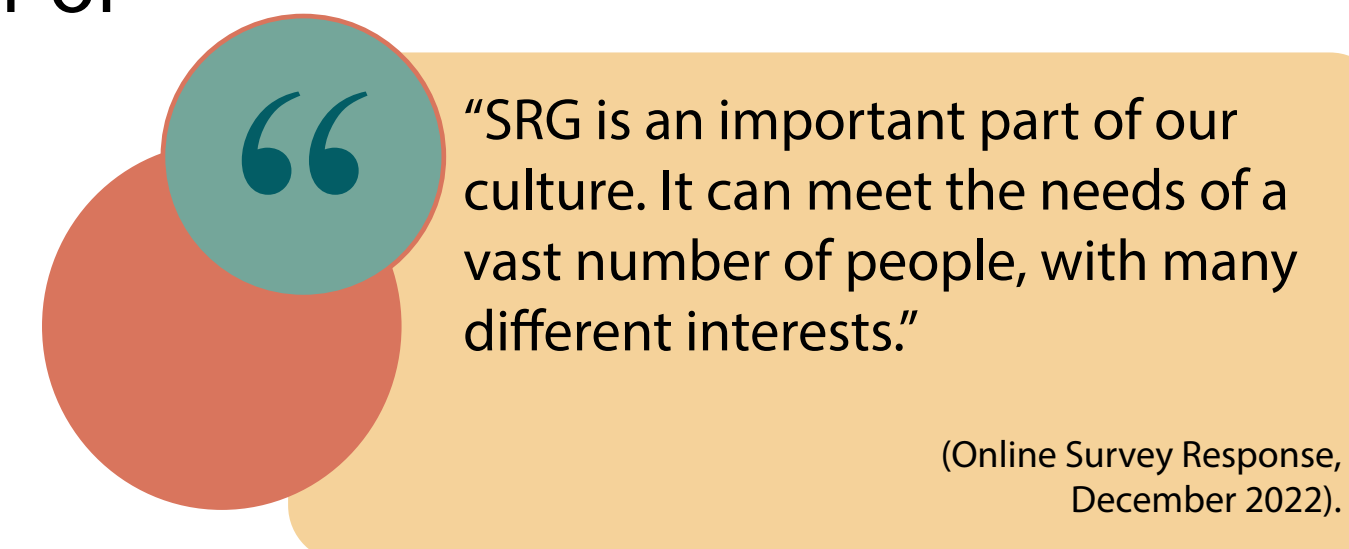


SUMMERLAND RODEO GROUNDS PUBLIC OPEN HOUSE #2

PHASE 1 ENGAGEMENT OVERVIEW

Preliminary engagement opportunities throughout Phase-1 of consultation, were created to receive feed back from:

- District of Summerland Council
- Parks and Recreation Advisory Committee
- Parks and Recreation staff
- Key contributor user groups
- General public



WHAT WE HEARD GUIDING THEMES

With Phase-1 engagement activities completed, the following summarizes the principles and themes that emerged which were used to guide the two concept developments.

1. Upholding of the rustic nature of the site and facilities, as well as preservation of the natural habitat.
2. Equestrian priority, based on creating more event opportunities and upgrading facility safety.
3. The desire and benefit of making the property more multi-use - allowing for varying activities to take place at the same time.
4. Revitalization of trails and activity spaces, as well as facilities and amenities, in order to improve overall user experience and safety.

MUNICIPAL ENGAGEMENT

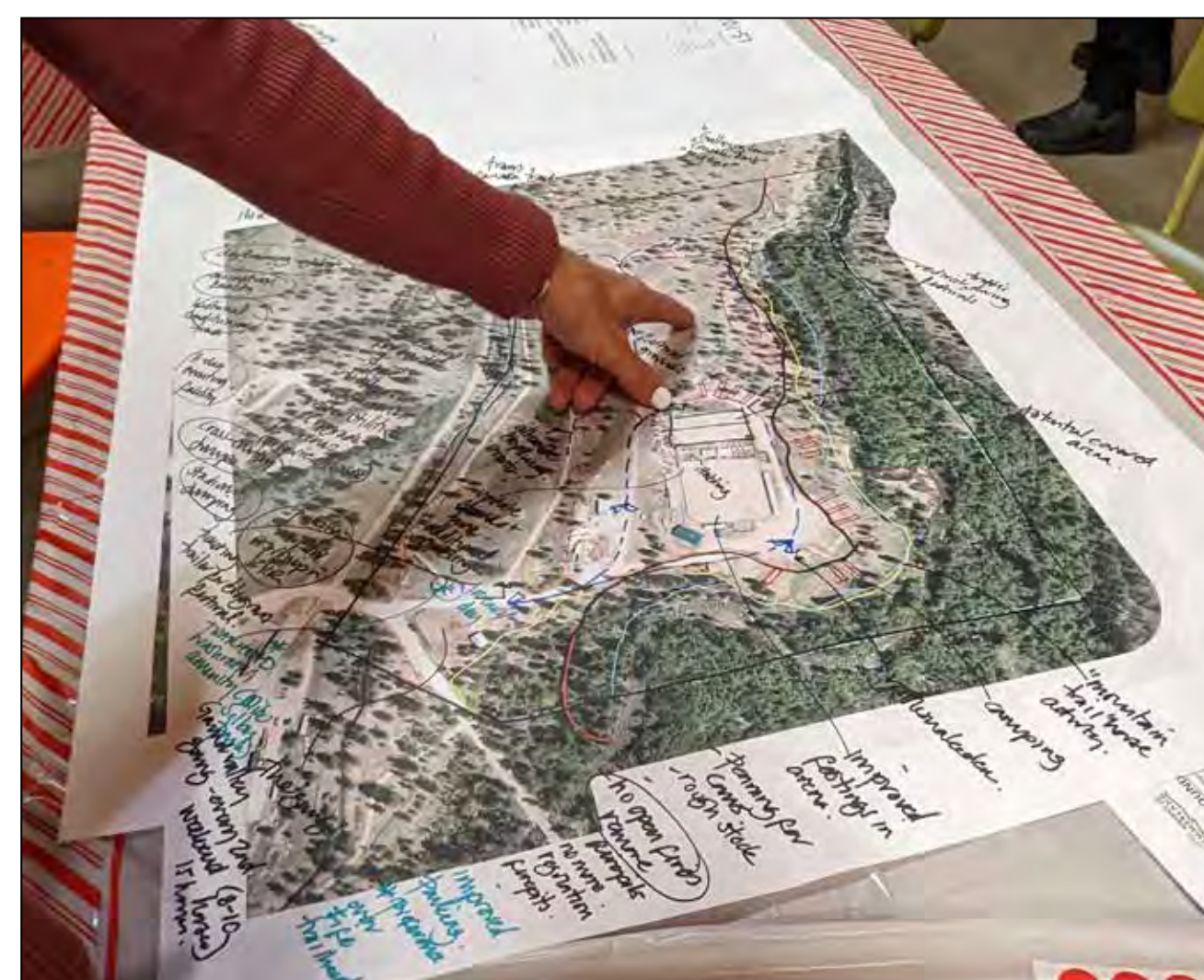
From October to December 2022, the consultant team and Parks and Recreation Staff held key meetings with both the Parks and Recreation Advisory Committee and the District of Summerland Council to present and gather feedback on the visioning of the Rodeo Ground Master Plan project. Meetings with staff sought to establish the vision and goals of the Master Plan process, while additional consultations aimed to build on the vision of the grounds.

Primary takeaways from the first phase of engagement confirmed the Rodeo Grounds as a unique and valuable asset. Common sentiment among Councillors, Park staff and Advisory Committee that (i) Any new plan should include a broad-spectrum of community appeal; (ii) the site should maintain some element of its equestrian heritage and that the rustic, natural aesthetic of the park, especially any environmentally sensitive areas, should be prioritized and protected.

PUBLIC ENGAGEMENT

Several primary user groups, including the SRG Equine Development Committee and Bluegrass Festival Association, were invited to a Contributor Workshop on November 23, 2022. Each group was given an opportunity to discuss their historical relationship with the Rodeo Grounds and convey their group's vision and/or concerns regarding any future development of the site. Based on spoken-feedback received during the workshop, it was clear to the consultant team that there are passionate community groups eager to utilize the Rodeo Grounds to its full potential.

Directly following the contributor workshop the general public was invited to attend an open-house information session, which offered an overview of the current site and sought input from the public on visions for the future.



ONLINE ENGAGEMENT

The first online survey was available to all members of the public between November 23 and December 15, 2022. In total, 438 participants completed the survey, indicating the strong local and regional appeal of the Rodeo Grounds site. The results of the first round of community engagement - the Engagement Summary - was published in early February 2023 and can be found through a link on the Rodeo Grounds project home page www.summerland.ca/rodeo-grounds-master-plan

A second online survey will be open to the public from **February 28 to March 15, 2023**, to solicit community feedback on the two proposed Master Plan concepts. Participants will be asked to evaluate the design and programming appeal of the two separate concepts, providing input on the varying aspects of each design.



QR Code for
Online Public Survey #2

SUMMERLAND RODEO GROUNDS PUBLIC OPEN HOUSE #2

STRUCTURAL ASSESSMENT OVERVIEW

In November 2022, a visual non-destructive review of the existing structures, was undertaken to determine the following:

- Document any damage to the existing structure.
- Determine the presence of safe load paths.
- Review structures to determine if there have been any alterations which have changed the original design intent, to our best knowledge.

The final structural report was submitted to the DOS Project Team, on December 1, 2022 and is currently under review. Structural recommendations will be published as part of the final Master Plan report. The below summaries of key site structures have been extracted from the Structural Report and offer an indication of status, as staff continue to assess options for the coming season.

WATER

- Main Summerland Well (1998) services the Caretakers residence, bathroom building, clubhouse, and KV Railway building
- Casing is known to be failing
- Water has high turbidity and current solutions are not sustainable
- Based on age and failing casing a new well is most likely the most cost effective option

ELECTRICAL

- Current electrical needs are being met
- Any additional requirements will likely require an additional transformer
- Based on desired new uses either a pole mounted or pad mounted transformer would be needed
- Pole mounted would be most cost effective for this site

SEPTIC

- Research is ongoing into existing conditions and requirements



The large Function Hall [clubhouse] building will need further review as post-construction alterations to the building have created some pinch points at the walls which may cause some local crushing of the logs.



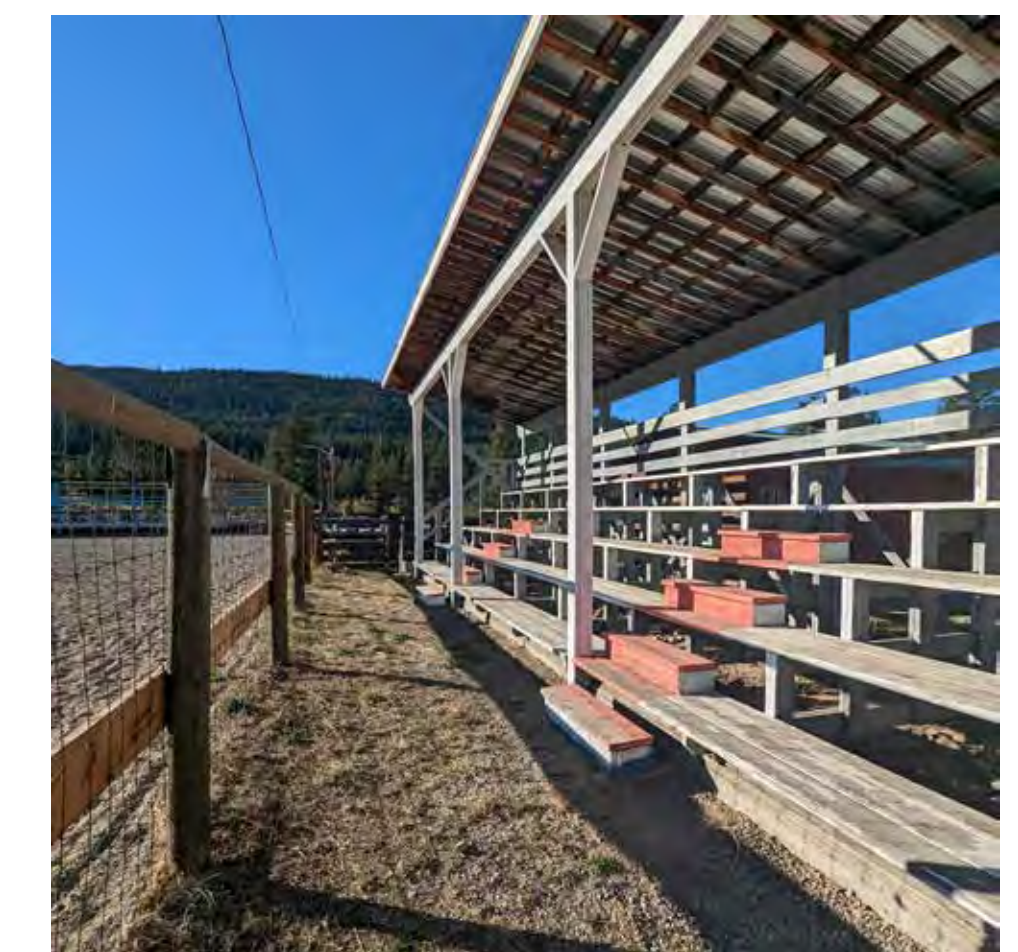
The concession building is of concern as there is some water damage on the walls, as well as having an insufficient lateral load resisting system. There also may be fire issues too as there is an open grill in the center of the room and no sprinklers or drywall to protect the framing.



The large grandstand to the north should be investigated further. There is evidence of erosion below the foundations. The columns at the front of the structure appear to be opening up at the top and some of the upper beams are not spanning fully onto the support elements.



The South Bleachers (blue one) should not be accessed by the public. There are multiple issues noted which are discussed in detail in the report, but these include rotting members, cracking in the concrete foundation and splitting of major load carrying members.



The West bleachers (adjacent to the concession building) were in general good condition. They should be repainted to prevent any further weathering of the structural members.

SUMMERLAND RODEO GROUNDS PUBLIC OPEN HOUSE #2



CONCEPT A EQUESTRIAN FOCUSED MODEL

- A- MAIN ENTRY WITH SIGNAGE
- B- ENHANCED TRANS CANADA TRAIL TRAILHEAD SIGNAGE / BIKE REPAIR STATION / PIT TOILET / WATER
- C- TRAILHEAD PARKING - +/- 26 STALLS
- D- RELOCATED CARETAKERS RESIDENCE (2500 SQFT)
- E- EXISTING AND IMPROVED GARNET VALLEY GANG PADDOCK AND CLUBHOUSE WITH PARKING
- F- WASHROOM/ WASH AREA FOR CAMPING
- G- EQUINE CAMPING - FULL TRAILER LOTS WITH HITCHING POST SHELTER AND WATER (+/- 20 CAMPSITES)
- H- EXISTING CLUBHOUSE TO REMAIN- NEW DECK AND STORAGE SHED
- I- NEW COOK SHACK / CONCESSION
- J- EXISTING BATHROOM BUILDING
- K- NEW HORSE STABLE/ BARN STORAGE -10 STALL WITH SMALL SIDE PEN
- L- EXISTING UPGRADED GRANDSTAND
- M- NEW GRANDSTAND WITH SHADE STRUCTURE
- N- FLEX SPACE (TRAILER PARKING / EVENT START & FINISH FOOD TRUCKS/ MARKET)
- O- PICNIC SHELTER
- P- NEW ROOF STRUCTURE OVER EXISTING ARENA
- Q- NEW CIRCULAR RIDING RING
- R- NEW HORSE SHELTER/ STORAGE
- S- OUTDOOR CONCERT EVENT SPACE/ CAMPING / OVERFLOW PARKING CONCERT SEATING (500+ CAPACITY) CONCERT CAMPING (+/- 30 SITES)
- T- NEW TRIALS CONNECTING TO EXISTING TRAIL NETWORK
- U- IMPROVED EXISTING TRAILS (SIGNAGE, TRAIL FOOTING)
- V- EXISTING WATER FLUME
- W- 30m RAPR SETBACK

ESTIMATED COSTS

INFRASTRUCTURE UPGRADES	\$152,500.00
EXISTING STRUCTURE UPGRADES	\$65,500.00
PROPOSED STRUCTURES & AMENITIES	\$679,500.00*
ROADS AND TRAIL IMPROVEMENTS	\$64,000.00
TRANS CANADA TRAIL IMPROVEMENTS	\$34,500.00
NEW PLANTING/ RESTORATION	\$36,500.00

TOTAL PROBABLE COST & 20% CONTINGENCY **\$1,238,400.00**

* total costs include new riding ring roof*

SUMMERLAND RODEO GROUNDS PUBLIC OPEN HOUSE #2



CONCEPT B MULTI- USE FOCUSED MODEL

- A- MAIN ENTRY WITH SIGNAGE
- B- ENHANCED TRANS CANADA TRAIL TRAILHEAD
SIGNAGE / BIKE REPAIR STATION / PIT TOILET / WATER
- C- INTERPRETIVE KIOSK / TRAILHEAD PARKING - 40 STALLS
- D- IMPROVED GARNET VALLEY GANG PADDOCK AND BUILDING
- E- NATURAL OUTDOOR PLAYGROUND AREA
- F- EXISTING CARETAKER BUILDING AND AREA TO REMAIN
- G- 1 AC. FENCED OFF LEASH DOG PARK WITH PARKING +/- 20 STALLS
- H- NEW CLUBHOUSE WITH KITCHEN AND CONCESSION STAND
- I- PARKING/ LOADING AREA
- J- EXISTING BATHROOM BUILDING
- K- NEW STORAGE BUILDING/ BARN
- L- EXISTING UPGRADED GRANDSTAND
- M- ARENA PARKING +/- 20 STALLS
- N- FLEX SPACE (TRAILER PARKING / EVENT START & FINISH
FOOD TRUCKS/ MARKET)
- O- PICNIC SHELTER
- P- NEW ROOF STRUCTURE OVER EXISTING ARENA
- Q- OUTDOOR CONCERT EVENT SPACE/ CAMPING / OVERFLOW PARKING
CONCERT SEATING (500+ CAPACITY)
CONCERT CAMPING (+/- 30 SITES)
- R- NEW DISC GOLF COURSE (3 OF 18 HOLES)
- S- MOUNTAIN BIKE SKILLS COURSE (BEGINNER/ MEDIUM/ DIFFICULT TRAIL
LOOPS)
- T- IMPROVED EXISTING TRAILS (SIGNAGE, TRAIL FOOTING)
- U- TENT CAMPING SITES
- V- EXISTING WATER FLUME

ESTIMATED COSTS

INFRASTRUCTURE UPGRADES	\$145,000.00
EXISTING STRUCTURE UPGRADES	\$77,500.00
PROPOSED STRUCTURES & AMENITIES	\$982,500.00*
ROADS AND TRAIL IMPROVEMENTS	\$53,500.00
TRANS CANADA TRAIL IMPROVEMENTS	\$34,500.00
NEW PLANTING/ RESTORATION	\$44,250.00

TOTAL PROBABLE COST & 20% CONTINGENCY **\$1,609,620.00**

* Total costs include new clubhouse and riding ring roof

SUMMERLAND RODEO GROUNDS PUBLIC OPEN HOUSE #2

CHARACTER IMAGES



PUMP TRACK



EQUINE CAMPING



REPAIR STAND



OFF LEASH DOG PARK



COVERED RIDING ARENA



HIKING TRAILS



MOUNTAIN BIKE SKILLS COURSE



DISC GOLF



TRANS CANADA TRAIL ENHANCED TRAILHEAD



NEW CONCESSION BUILDING



EQUINE CROSS COUNTRY TRAILS



OUTDOOR CONCERTS/ EVENTS/ WEDDINGS



KVR STEAM RAILWAY/ GARNET VALLEY GANG



CIRCULAR HORSE RING



BIKING ON TRAILS

WHAT COULD IT COST?

Estimate of Probable Construction Costs

Summerland Rodeo Grounds- Option A - EQUINE

The above items, amounts, quantities, and related information are based on Ecora's judgment at this level of document preparation and is offered only as reference data. Ecora has no control over construction quantities, costs and related factors affecting costs, and advises the client that significant variation may occur between this estimate of probable construction costs and actual construction prices.



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SUMMERLAND RODEO GROUNDS PUBLIC OPEN HOUSE #2



HOW CAN WE GET THERE?

As municipalities across Canada continue to experience significant growth in population, many are racing to keep up with the simultaneous increase in demand for parks and recreation space. Demographic growth, impacts from climate change, shifts in post-pandemic social behaviors and increasingly strained operational budgets have led to an increase in **park partnerships** as a way to meet community demand for recreational space and programming, while working to reduce growing pressures on the taxpayer system.

The type of partnership model, can vary depending on the type of agreement made. For example, parks partnerships can be local or regional formal or informal, ongoing or a one-time arrangements. The following information shows the benefits and types of partnerships that could work to improve the Rodeo Grounds

BENEFITS OF PARK PARTNERSHIPS



COMMUNITY ENGAGEMENT

Partnerships can help projects build connection to community; focus energy; unleash creativity and recruit volunteers, who can help to form a central voice for a site.



PROGRAMMING

Partnerships can help to deliver relevant and responsible programming that can respond to the needs and wants of the community and wider user-base.



FUNDRAISING

Partnerships can help to provide flexibility in access to different types of funding and grants, as well as in-kind donations and volunteer hours.



PLANNING & DESIGN

Partnerships can help planning and design initiatives with the ability to adapt to changing public aspirations and demands for infrastructure planning.



SPECIALIZED MAINTENANCE

Partnerships can help provide specialized maintenance needs - such as facility and equipment care - helping to maintain or expand operational services of a site.

TYPES OF PARK PARTNERSHIPS

INFORMAL



PARK FRIENDS/ GROUP MODEL

- Groups of well-meaning like-minded individuals working for the benefit of the site, with no incorporation, such as volunteer-led conservation and recreation projects

LEASE MODEL

- A partner group provides programming to the community through subsidized rent structure of a municipally owned building or site.

COLLABORATIVE MANAGEMENT MODEL

- A municipality provides core operating (budget) support for the partner to undertake activity programming on site. The partner will likely engage in some level of fund-raising or revenue generation utilized for maintenance or upgrades.

SOLE MANAGER/ P4 MODEL

- A public sector site that is fully or partially financed by the private sector on a long-term operational and/or maintenance basis.

FORMAL

PARTNERSHIP TAKEAWAYS

- Partnerships should seek to enhance core operations, planning, maintenance and funding.
- Partnerships can evolve and adapt, as need and function dictate; allow the ability to mobilize community park support, even where traditional organizational focus does not exist.
- The goal is to create long-term sustainability through lasting and meaningful partnerships.

SUMMERLAND RODEO GROUNDS PUBLIC OPEN HOUSE #2

THANK YOU

We want to thank you for taking the time today to share your interest and feedback on what the Summerland Rodeo Grounds is and what it can become. Your input is invaluable in this process and we are looking forward to taking this knowledge to the next phase of design development. If you haven't already, please fill out the survey here, on-line or with your smartphone.

Please follow along in the process and check for updates on the District of Summerland's website at www.summerland.ca/rodeo-grounds-master-plan.

If you have any questions, comments or concerns, please feel free to reach out to: Lori Mullin
Director of Community Services
lmullin@summerland.ca or 250-404-4084.



Community Survey
QR-Code



APPENDIX 6

ONLINE COMMUNITY SURVEY #2 RESULTS

The following is a formatted version of the digital online survey that was conducted as part of the public engagement activities for the Summerland Rodeo Grounds Master Plan. The graphs have been formulated via the Survey Monkey website and provide an accurate visual representation of the collective responses given.

All hard-copy submissions of the survey, have been added to the results of this report, including any additional written comments submitted by participants.



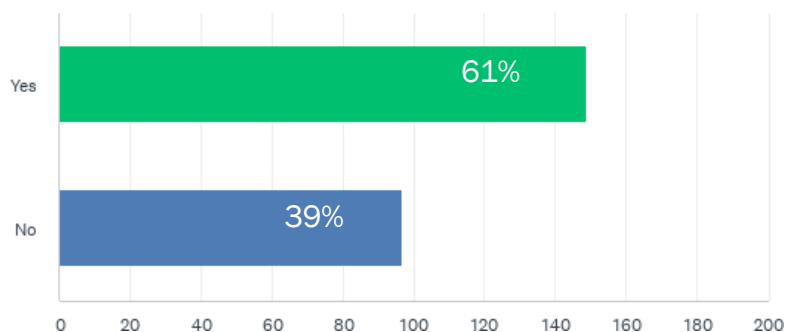
Ecora Engineering & Resource Group Ltd

2045 Enterprise Way Kelowna, BC

V1Y 9T5 | 250.469.9757

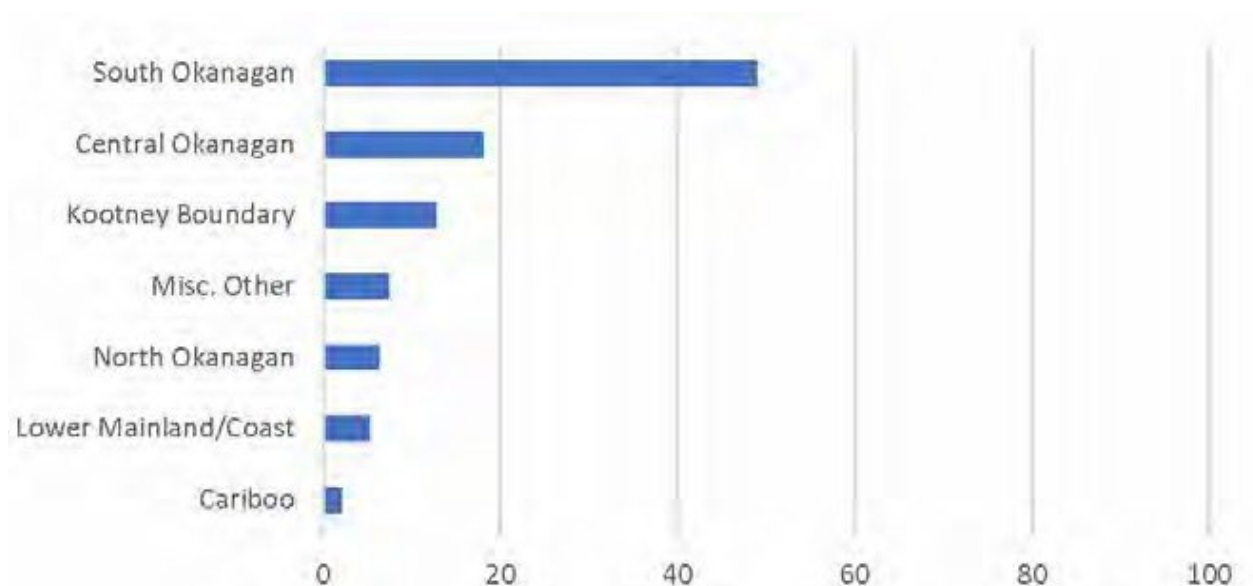
Question 1A

ARE YOU A SUMMERLAND RESIDENT?



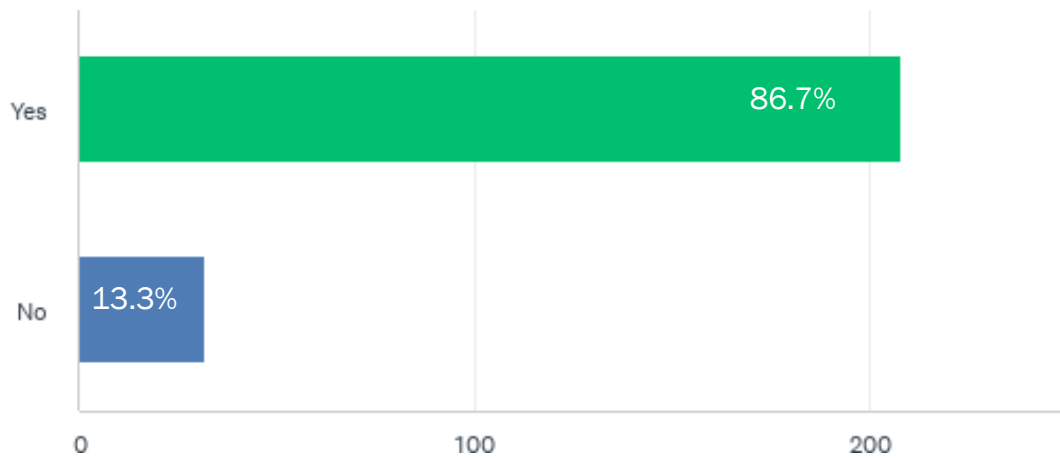
Question 1B

IF YOU ARE NOT A SUMMERLAND RESIDENT, PLEASE PROVIDE THE FIRST 3-DIGITS OF YOUR POSTAL CODE:



Question 3

HAVE YOU VISITED THE SUMMERLAND RODEO GROUNDS IN THE
LAST 10 YEARS?



Question 4

CONSIDERING THE EQUESTRIAN FOCUSED MASTER PLAN (CONCEPT A), WHAT YOU DO LIKE BEST ABOUT THIS CONCEPT?

- Enhances the facilities and would lead to more events and usage.
- I like improving existing trails and enhancing footing/signage.
- Equine only. Upgrades will bring in more riders for events.
- No conflict of space, better likelihood that it will be used for equestrian opportunities and not just booked up every weekend for non-equestrian activities. Good to see revamping of stabling, covered arena.
- P new roof over part of existing arena!!!
- That it is 'equestrian focused'.
- I really like this one as an equestrian myself!
- Use of space better
- The ONLY positive thing is that it is still an Equestrian Focused Master Plan. That's about it.
- Sheltered picnic area. Upgraded washrooms. Trail improvements.
- That it continues to provide a venue for local Equestrians.
The upgrades to fencing, stabling, infrastructure.
- Safe accessibility for equines. It has always been a gathering place for equine activities. Without it the horse community has nothing.
- That the focus is on keeping it an equestrian facility
- Not much
- the different trails
- The extensive trail system and the shade structure.
- I don't know. It seems fine now before improvement.
- Values existing equestrian use and facilities. Recognizes need for riding arenas, cookshack, clubhouse, additional stabling, access to Conkle Mountain trails. Suggested plan estimates are really affordable based on the consultants' estimates!
- Looks like some net things equestrian.
- Grandstand improvements, cookshack improvements, shade over arena

- Equestrian sites.
- Additional safe connected trails for equestrians
- Two things I like best - #1 adding new trails and improving existing trails (I'm assuming these are walking pathways). #2 The outdoor concert/event/camping space.
- Having stalls and camping spots available will increase horse camping opportunities. Clear and well cleared trails would be great.
- New roof on riding arena
- I like the idea of restoring the grounds into a more avid working equestrian center.
- It encompasses a multi-use for horses.
- Upgrades to arena with roof and grandstand upgrades. Great location for concerts and events
- I like the idea of placing importance on and keeping in good condition the equestrian focus of the grounds.
- New cookshack/concession, picnic shelters, equine camping, updated entry with signage, enhanced trans Canada trailhead signage, bike repair station, pit toilet, water, trailhead parking, washroom area for camping, upgrade to grandstands, new grandstands with shade structure, new vehicle roadways, outdoor concert event space/ camping/ parking etc.
- Still retains horses.
- Strong emphasis on equestrian needs and activities - per its heritage and also for the vibrant equestrian community that contributes millions of \$ to local and provincial economies. The equestrian community has been traditional stewards of the Grounds.
- The ease of access
- Trailhead signage
- Good use of the land while protecting sensitive areas
- The covered arena and facility for events such as bluegrass festivals
- I like that it keeps the trail system intact with plenty of natural areas. It allows the equestrian aspect to be made priority and allows for safety of those who partake in the activity. I like the improvement to the areas and hope it will provide a great space for events like rodeos.
- I like how the design allows for more use of space. Moving the caretaker residence opens up so much space for other options. The updated and new trails look nice as well.
- Covered arena.
- The covered outdoor arena and horse camping spots with washrooms
- Great layout, places to camp with the horses, safe places to keep the horses during competitions and events, a covered arena would be such an amazing amenity.

- Trail network
- Covered arena, equine camping area, more stalls, improved trails.
- Improving/replacing the structures. Allowing shared use while also keeping the equine aspects.
- The equestrian focus, in keeping with the property's specified use when it was established. The additional parking for horse trailers, round pen, and trail improvements are all part of that focus.
- #1 - areas T and U stay as existing trail network with ZERO mixed use. (No disc golf, dog park or mountain bike trails area. All of which pose serious safety hazard to equestrians) #2 - Roof structure over the existing warm up area #3 - L & M creating 2 grandstands.
- That it will hopefully have more users to it and be more user friendly to allow for more attendance. A focus can be made to improve footing/dust control therefore drawing out more people. Plus, it remains as a historical marker in Summerland with its original qualities.
- The layout of the area is similar to today! I think it will be a great upgrade.
- It maintains the use by horse owners and fans of horse-based events, just better.
- I use the trails with my dog to walk 3-4/week. I like the upgrades to the trails best.
- That you can have more events that are world class
- Improved trail; equine camping areas, horse shelter, storage, circular riding ring, washroom area for camping
- Lots of trees.
- I like it all.
- Covered area for community horse use.
- The general layout is good.
- Keeping the original club house, the cover arena and round pen! The concert center is awesome and will need its own bathroom.
- The outdoor concert/event area
- Assigned trailer/camping spots, adequate trailer parking space.
- Mostly everything. Feel it was designed as an equine area.
- Keeping the area as natural as possible.
- Improved camping, trails, and facilities
- Authenticity
- New buildings, and infrastructure upgrades
- I have really enjoyed using the site as an equestrian facility for 25 years. Very family friendly even for those not interested in horses. Provides facilities for many activities.

- Roof structure over the riding ring, maintaining the equestrian purpose, camping area.
- Improved horse camping with hitching posts and the stalls
- The only place in Summerland for equestrians to get together, show in a friendly environment. Different activities such as clinics able to be held here. Stables are great if needed to spend the night at a horse event. Large arenas to allow many to safely ride together.
- I only like what pertains to the betterment of existing buildings and would like to see the area stay rustic and natural, I see no need to relocate caretakers' home either.
- Equestrian only
- Full trailer lots with equine camping and grandstands!
- Spending our money on the few people who own horses does not make sense. Compare the number of horse owners to dog owners.
- Looks neat, everything in a good place, orderly.
- Trail upgrades
- Everything
- Nothing
- Enhanced trailhead
- Flex space
- Equestrian focused. integrates with other outdoor activities, enhanced for better use.
- B&C, additional parking stalls at trailhead as well enhanced signage of the Trans Canada Trail.
- Horse camping maintains equestrian activities.
- Well thought out.
- New trails meet w old trails,
- Camping and event area
- TransCanada trail improvements
- Fixing up the grounds for equestrian use
- The new trail networks.
- E.
- Some of the upgrades would be really nice for the equine community.
- Upholds and supports existing uses and increases its viability. Vast range of cost that can scale with District ability to pay and priority and can be scaled over several years.

- I think everyone should enjoy the grounds not just the equestrian.
- Camping spaces
- I've attended so many events here. Want to keep it that way.
- Grandstand improved for concerts, events.
- New grandstand with shade.
- Indoor riding ring + upgrades to grandstand + upgraded larger grandstand facing east.
- New stables and feeding
- Upgrades to the arena, round pen, grandstands
- It is unique to our area, and I believe it would be a financial benefit to Summerland... in the long run.
The other concept will be beneficial if built closer to town. I am for Concept A
- It maintains public use of this land.
- Not my favorite
- Horse camping sites and trail improvements
- Maintains some existing structures. Invites a new or increases an existing user group to Summerland.
- I like the care takers residence moved, I like the camping pens for the horses, and I like M grandstand being kept as that is the one almost everyone uses because it is the only one that gives shade in the summer heat.
- That it is targeted to the equine community in the Summerland and surrounding areas. There is a large number of equine owners within the Okanagan Valley, Similkameen, and Interior that would travel to use such a facility.
- The trailer parking/camping on the above bench and the covered second arena.
- The Equestrian focused with a grandstand and transcended trail access.
- H- Existing clubhouse with new deck and storage
G- Equine camping hitching post and shelters
- Open spaces
- That it leaves the area rustic and natural and it is mainly equestrian focused
- Concession and bathrooms
- I like the Trans Canada trail improvements as I used it to get to Summerland before.
- Improved trail head signage and parking.
- The fact that the importance of equestrian has been taken into account.

- I like that the trails would be expanded. Camping, cooking/BBQ shacks and shade excellent! Parking and upgraded facilities a must. And a residence to patrol and control. Love the concert seating idea! Great thought went into the plan!
- The fact that it IS equestrian focused with trails and supporting amenities. It opens Summerland to some interesting new types of events.
- The upgrades to the horse usage
- The amount of green space, the improvement to trails and the Kettle Valley Rail Trail. Also, the bandstand, concert space, and camping. I think it's a great multi-use plan but maintains its focus on equestrian uses. I would hope this might also extend to include use by dog sports enthusiasts as well.
- Trailhead signage and parking, trail improvements, bathrooms
- Improvements to the riding ring and stabling
- The much-needed improvements to make it safe.
- Covered arena and space for eventing activities.
- That there is room for a disc golf course to the east of planned amenities
- The improved cookhouse and clubhouse (hopefully with additional toilets), but mainly the covered riding ring.
- L M P Q R S maintained or upgraded structures. I really like the bike facilities at the entrance.
- The layout for the equestrian to use and having the other events area away from the arena.
- Parking and camping area provided for horses.
- I believe it lacks cohesion of design and this space should be a multiuse ground.
- The fact that it's staying equestrian focused is enough for me.
- Everything except relocating care takers residence as it is already established and ideal for keeping a watchful eye over the property and those entering/using the property.
- That it is equine based
- Brings people together in the outdoors.
- As someone from out of town with family in the area. And not a fan of equestrian sports, I like the fact that it is tucked into the corner. and there is lots of other space.
- S, outdoor event area.
- The covered arena, camping options with stabling
- That it is being maintained as an equestrian facility
- Activities

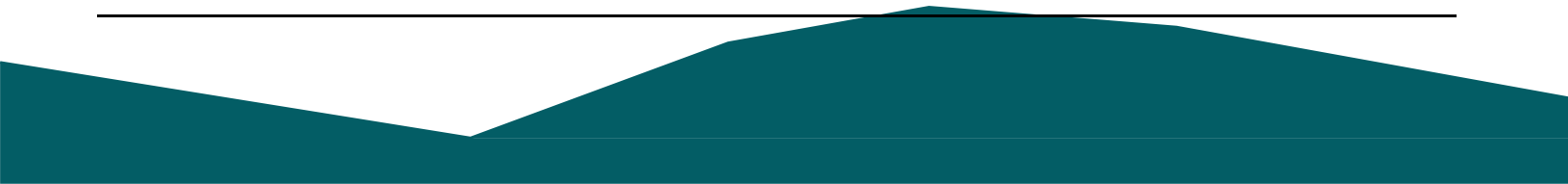
SUMMERLAND RODEO GROUNDS - APPENDIX A - ONLINE SURVEY #2 RESULTS

- The layout and pathways
- Love it! An equestrian facility like this is needed in the South Okanagan.
- An upgrade to facilities to better accommodate events.
- Activities
- New trail signage and parking updates. Campsites, updated buildings.
- Looks like it is perfectly laid out - BC needs more equine facilities.
- I think it needs a disc golf course. Summerland Rodeo grounds could be a world class recognized course for beginners and pros alike.
- I'm not a big fan of an Equestrian master plan for the area. I think it should be accessible to everyone.
- That it is equestrian focused
- I like that it focuses on equestrian sport. The original Summerland Rodeo Grounds group intended this land to be used for equine activities. There are few facilities where larger shows and other events can be held in our area. We need this facility.
- The South Okanagan region needs a facility like this (especially with a covered arena) as there is really nothing like it in the region. It would be such an asset to the district of Summerland.
- Focus on the traditional, equine use of the Rodeo grounds.
- Possibility of a disc golf course
- Facilities like washroom, camping, event space
- That it is equestrian focused. I think it is important to maintain this aspect of the grounds. I think there is also large earning potential around an equestrian facility. I love the addition of a round pen (if done correctly). I like the fact that it does not include disc golf. Although I am not against disc golf in general, I just don't think it mixes well with equestrian sports, especially being the grounds have access to trails and are a large hub for many trail riders. I like the improved trails. I like the addition of more equestrian focused camp spots. I like the covered riding arena.
- done smoothly would be a nice addition.
- I like the addition of a circular riding ring and extra stables.
- Improved parking & trail access.
- I like the addition of a circular riding ring and camping sites.
- Updating and replacing facilities (arena, rings, grandstands, bleachers, clubhouse, concession/kitchen, washrooms)

Question 5

CONSIDERING THE EQUESTRIAN FOCUSED MASTER PLAN (CONCEPT A), WHAT YOU DO LIKE LEAST ABOUT THIS CONCEPT?

-
- Personally, it all seems really nice.
-
- A covered arena seems like a very low priority.
-
- Nothing
-
- I think it's overkill for what's needed. A covered arena is a nice idea, but I would hate to see construction take forever. We need a safe and updated facility; the proposed idea is a bit over the top. It would need maintenance and management. I'd like to see more parking and clearer horse camping set ups.
-
- I like this concept; I don't have any complaints.
-
- lack of access to the creek using trail network. As a rider it is important to get access to and across the creek.
-
- Only useful to a small number of users
-
- Public use more
-
- I think that people will want to use this space for various reasons and focusing it on the equestrian aspect will cause issues in the future, as people such as mountain bikers, hikers, etc. will still access the area.
-
- Everything! It's shocking that so much of our money is being spent on designing such a very poorly designed plan.
-
- A covered arena sounds great, but I question if it is really necessary. Indoor arenas are mainly used in the winter months, and I wonder how many people would bring trailers to the rodeo grounds on snow covered roads. I think the funds should be used to improve arena footing and the irrigation system.
-
- 10 horse stalls are not adequate.
-
- No mountain trail course for equestrian use.
-
- The move of the 'caretakers' residence. There will be no views of any activity on the grounds.
-
- That it is focused on only one thing
-
- It's only for horse people!
-
- How much it will cost taxpayers.
-
- like everything about it
-

-
- Concert venue
-
- Design ideas do not capitalize on the potential of this property to become an equestrian hub for the South Okanagan. The consultants are not versed in actual equestrian requirements (i.e. placement of stabling (k) right at the ingate to the arena, sizing of circular riding ring (q) space limitations where proposed, horse camping (g) in linear lots like an RV park etc. Such design needs more thought and consideration/ input to ensure it provides appropriate flows/safety etc.
-
- Concept A is focused only on equestrians. There is no diversity for other members or groups in the community to enjoy the park. Concept A is a very narrow-focused vision with no long-term viability.
-
- The campsite
-
- The disk golf and the mountain bike course. Both would seemingly take over a lot of the equestrian based spots. Mountain bikes and disc golf are both things that could very well startle the horses and cause them to potentially spook and bolt with the rider.
-
- Cost. It seems like a lot for the relatively few people that own horses and use them.
-
- More parking near barns for trailers.
-
- There should be more camping if you are hosting events and concerts. There is no plan that I see for rodeo and larger equestrian events.
-
- The lack of an off-leash dog park and natural playground.
-
- The majority of the space is equestrian focus, the sophistication of the plan takes away from the "rustic" feel of the current facility. There is a distinct movement away from the current mixed use, which alienates the current user groups of the facility. Just because the equestrian community has the loudest voice doesn't mean the plan should cater solely to their needs. The Riparian setback eliminates all of the camping spaces that are already naturally occurring near the existing bathroom building, overlooking the creek.
-
- All looks good.
-
- that it is focused on only one user group - equestrian small percentage of people in Summerland own horses.
-
- There is no mention of the old potable water well being replaced. The well needs to be upgraded in order to provide the amenities proposed and also to meet Canadian Drinking Water Quality Guidelines. This cost should be added to both proposals.
-
- The Caretaker location is too close to the road and far away from seeing rodeo grounds.
-
- Nothing! I think it is very thoughtfully laid out and presents so many opportunities for so many different disciplines.
-
- I don't see anything I don't like.
-
- would feel like "horse only" usage and I would be intimidated to go to the property for other activities.
-
- 

- The costs are being borne by the taxpayer. Horses are agriculture and lifestyle. They already get a huge break in our community.
- Is the concert area going to "unwild" the area? Would like to see about retaining most nature with trails going through.
- #1 - new concession and horse stable location. This creates too much congestion with buildings and people around the main exit gate to the large arena and creates a very unsafe setting for both equestrians and spectators. #2 - relocating the caretakers residence. The existing location keeps the caretaker in a central location with easy views of the surrounding facility. #3 - no indication of replacement stalls with the removal of the old pens located by the existing covered stalls.
- There should have been some thought into potentially boarding horses. Therefore, allowing a community to be at the grounds for extra hands and regular users.
- Maybe not that many people will benefit from the upgrades of the infrastructure.
- It serves a relatively small group of Summerland residents and won't increase its use by others.
- What I like least is the possibility of outdoor concerts
- Think that it should be more focused on more than just equestrian for the whole community, just a selected few. We are all not equestrian based.
- No complaints
- I don't own or have access to a horse, so any equestrian questions are n/a.
- Seems like a lot of work for the caretaker doing 24hr security babysitting campers and watching out for livestock keeping the partiers settled down. Collecting garbage. The list goes on. I hope you are planning on expanding the staff at the rodeo grounds.
- I think 🙄🙄🙄🙄 it sounds good all around.
- Does not show where composting for manure, shavings and hay would be housed/ disposed of. Storage facilities.
- Moving the caretaker's residence doesn't really work as where it's positioned, it gives a view of the whole grounds, that being said why can't the camping go where you have the caretaker's residence in concept A? I feel the grounds have more potential i.e. include the bike park and maybe disc golf..... both arenas footing (the ground) needs to be redone!!!
- Parking & lack of washrooms
- Distance of stalls to trailer camping area, loss of small outdoor paddocks.
- ATV doesn't seem to be part of the plan except for trail development. Is this going to be ATV accessible?
- The overall plan appears to be disjointed. Not sure if all interested groups have been consulted.

▪ I am uninformed about the need for an equestrian oriented center. There needs to be clear info about the needs, level of demand and benefits of this use. What is the long-term outlook for equestrian oriented recreation? In other words, we need a justification for almost exclusive use of the site. At best this should be considered an interim temporary use with low level of city investment, operated by the clubs under their business model.

▪ The single focused overall plan.

▪ I don't see many downsides.

▪ Don't need a concert place.

▪ Ditch B, Ditch N, Ditch S

▪ I love it all!

▪ See previous answer.

▪ I like multi-function not just focused on 1 activity.

▪ No comment. I would only be a visitor, not a participant.

▪ Not sure

▪ Unless the equestrian group contributes considerably, I don't see the tax base paying for covered rings.

▪ Nothing comes to mind.

▪ Too much land use

▪ equine focus

▪ There is no disc golf course included in concept A. This is a missed opportunity for this multi-use park. A disc golf course in this site would put Summerland on the map for the fastest growing sport in the world. A well-designed disc golf course attracts tourism benefiting local businesses and can be enjoyed for minimal cost by all ages and abilities.

▪ Nothing, it seems great.

▪ Not anything.

▪ Camping?

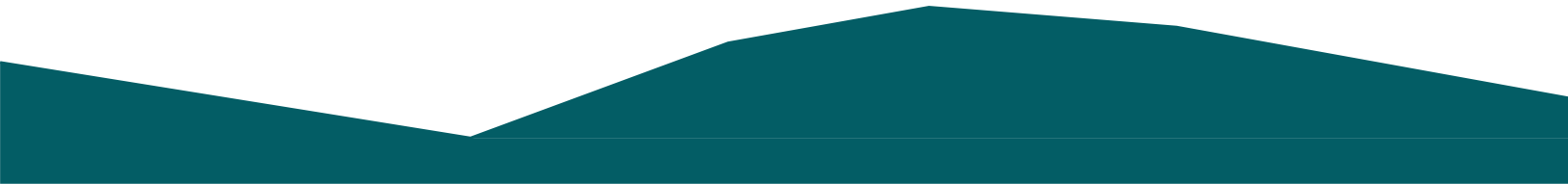
▪ Limits non-equestrian uses.

▪ Don't need a private company to oversee operations and no need for covered arena or bleachers. Keep it simple.

▪ It doesn't encourage many other user groups to use the area.

▪ The layout may not be ideal for equestrian users. Were they consulted on the design? Some costs could be subsidized by utilizing volunteer labor (work bee) by user groups.

- Rather see this area as a multi-use environment
- Camping
- For the horse owners only
- Keeps the area focused on only those who own horses or are interested in watching horse events.
- Equestrian aspects
- Need more parking.
- That it is focused on only horse-based activities. Does not meet the needs of the whole community.
- I do not think that any camping should be available due to environmental concerns, garbage etc.
- I don't think there is enough parking.
- No disc golf course
- Moving the Caretakers - having them closer to the grounds would be beneficial for keeping an eye on usage/vandalism etc.
- Cost is always an issue, but in the long run, it will be better to go with concept A for this area.
- Nothing
- The current bathroom building could use some upgrades.
- Seems single use. Doesn't invite other users' groups.
- I do not like the trailers parked so close to the arena, that would be fine for day parking but way too congested for event parking. The N area is a good idea for safety for event trailer parking and camping.
- Lack of washrooms
- It would not welcome other user groups and would limit the type of funding that could be applied to maintain and improve the facility in the future. Dog owners and mountain bike riders are a large percentage of the population in our area and the SRG has been utilized by both groups. Also, group events like concerts, festivals, weddings, or fairs would probably not be viable anymore.
- Relocation of the caretaker residence does not leave enough view over the equestrian facilities.
- No disc golf course.
- Roof structure over arena
- B- Enhanced signage and bike repair area, which I guess we go without pit toilets and water?
T- New trails connecting with existing network. What does this look like? Are the cyclists going to have a course on Horses, dogs, and walkers?
- Horses lol

-
- If you own a horse, you are already rich lol... Can't they pay for their own improvements. Upgrade stuff for people under 65 to do. Also, how can you only have 30 sites for camping at an event place that holds 500 people?
-
- No complaints.
-
- Equestrian focused plan excludes many other users. No disc golf course in this plan.
-
- The loss of a riding ring
-
- Nothing
-
- It is not clear whether this plan includes tent camping (this is included explicitly in the next plan. Tent camping should be included to ensure this is an inclusive space, not only a space for those who can afford to own RVs or trailers.
-
- That there's no disc golf.
-
- That it is a single activity area
-
- Nothing to note.
-
- Not anything I'd use.
-
- Not sure that moving the caretaker's residence makes sense. At present they are able to see and hear if people are at the stadium, which is important for preventing vandalism and inconsistent use. The proposed new site, while good for seeing road access to the grounds, is not ideal for monitoring what is happening at the arena. Also, seems like it would add costs for little gain.
-
- Not much parking
-
- Concept A looks good. The space is well defined and has good separation for the other. Camping would be nice on the flat hillside. I don't like that a disc golf course has not been set to the east of designated camping along with the suggested upgraded trail system.
-
- Stabling not all in one area
-
- It doesn't appear that the existing bathroom block is being replaced. Is it being upgraded?
-
- I don't really have anything I dislike.
-
- The caretaker and garnet valley gang are so close together. The caretaker being so close to the road and parking lot.
-
- May need more parking area.
-
- How long and when the work will be done.
-
- I don't understand what a new roof structure over existing arena means. Does this mean the arenas will be smaller than now, if so, don't like that. If same size, then yes that's good.
-
- 

- The use of the land overall
- Nothing
- It lacks broader partnership with the rest of the community. I'm an area horse professional and believe much of the equine industry misses the point when it comes to bringing the community together... with or without horses.
- No disc golf course.
- As mentioned, as someone not a fan of equestrian sport, there is a lack of a "draw" to enjoy the area. The trails are OKAY, but it leaves more to be desired.
- T, new equestrian trail
- Limiting the public usage in an area with potential to bring in more economic value.
- There isn't space for other usage.
- Lack of activities
- Redoing the caretaker's residence, renovating is ok, but a new building doesn't seem like a priority. Huge cost for a covered roof over the warmup area!
- It needs disc golf.
- The lack of variety of multi-use land
- It looks like a great plan.
- I think more horse stabling will be needed.
- Cost is a concern.
- -It doesn't appear the bathrooms are getting improved. They definitely need to be improved.
-The outdoor event/camping space concerns me a little. It needs to be done in such a way that we don't lose accessibility to trails.
-We need upgraded water as we need a way to be able to water the grounds for events
- Possibly of anything other than a disc golf course
- Its sole focus is equestrianism and closes off any other opportunities and doesn't generate a lot of economic value. It also adds way too much work to change the landscape to suit this type of use. Ex. Sprinklers, levelling out ground, wooden walkways etc. it's way too much change to an ecological sensitive area.
- Limited engagement with general public. not accessible to everyone.
- I don't like the single use purpose design of the facility as it limits potential use and growth of the property in the future.
- Underutilized land would draw a larger demographic to the area. Equestrian focused is extremely niche.

Question 6

CONSIDERING THE MULTI-USE FOCUSED MASTER PLAN (CONCEPT B), WHAT YOU DO LIKE BEST ABOUT THIS CONCEPT?

- The horse part is good, but unsure how the other would work with horses.
- I like the tent camping sites. Would be a lovely additional place to camp in Summerland.
- Dogs, disks, and bikes don't mix with horses.
- I think it's great to have some further infrastructure like the concert area and/or camping. I like that it's mostly separate from the riding areas.
- Covered arena area,
- That the equestrian facilities will remain and be upgraded. I believe that the caretaker site should remain at the top overlooking the facilities. It requires a proper caretaker that would ensure a minimum level of upkeep of the facilities. Also has some discretion with regard to allowing single campers with trailers to use the upper grounds when the main clubhouse facility is booked for an event. At present it is very difficult to ask for access through the Rec Department as their booking site is not user friendly and they are not open during typical equine recreational hours.
- Open for many users. Disc golf. Accessible trails and water
- Dog park
- I love the flex space and the upgraded amenities for various uses. The disc golf course is awesome!
- Actually, for the people
- Nothing
- Nothing. This plan is detrimental to horses and keeping it usable by horses.
- That it is for multi-use
- I like how there's so much to do for everyone, and it mixes together so well.
- Equestrian uses maintained (to a degree), TCT trailhead enhancements (toilet, signage) caretaker residence stays in current spot.
- New roof riding arena
- The roof over the arena makes it multi seasonal use.
- It may increase usage??
- Horse camping and available restrooms

▪ There is a lot more to like about Concept B. #1 Disc Golf Course. #2 New trails and improving walking trails #3 Outdoor Concert/Event/Camping space #4 Mountain Bike trails. Something for everyone, which is exciting. Concept B provides a long-term vision for the park, not a short-term vision with no diversity.

▪ I'm not a supporter of this plan since the equine element has been removed.

▪ The varied use. I love the idea of bringing this area to life more. Nature playground, dog park and concert venue all sound wonderful.

▪ Bringing events to the community. Also, the grammar in your questions is incorrect.

▪ Shade over riding arena

▪ Improved entry, parking, trail head signage, outdoor playground, fenced dog park, new clubhouse with kitchen and concession, upgraded grandstands, flex space for parking & sport events, picnic shelters, outdoor event space, camping overflow parking. Dish golf course, mountain bike skills course, improved existing trails.

▪ Equestrian focus. Traditional stewards of the park. Vibrant equestrian community that contributes millions of dollars toward local and provincial economies.

▪ Off leash park

▪ The thought put into making this a wide use plan. A family could go out there and have multiple activities. This would make this a great area to rent for reunions /events besides horseshoes.

▪ The ability to provide a variety of spaces for many different events. This could potentially generate increased revenues for the district while providing space for a wide range of groups.

▪ The improvement to the Rodeo grounds.

▪ I like the fact that it is inclusive of different groups. The golf, biking, dog park and outdoor park are so COOL!

▪ Outdoor Park,

▪ Covered arena and multi-use for mountain bikes.

▪ Possibly of a disc golf course

▪ Offers more options for residence without horses.

- 1- covered roof structure over warm up arena
 - 2- new clubhouse with concession and its location
 - 3- caretaker residence to stay in same location.
 - 4- upgrade to existing grandstand
-

▪ Improvement of the trailhead, particularly inclusion of Washroom and water point.

- Inadequate rig parking for horse events. The disc golf course that close could be disruptive to the riders unless the course was closed during larger events. No places to stall horses who come from a bit further away for events. Potential for dogs to get loose going to and from the dark park especially if they are very excited to see horses around. This could cause some major undesirable encounters. I have also seen dogs jump/climb rather tall fences to chase after horses.

- I prefer this concept.

- Outdoor playground, mountain biking area, disc golf, dog park

- Play area and disc golf would be great additions. There is space, I would suggest using it. Keep the equine in the ring and on the decorated trails and enjoy the rest.

- I don't. So many activities will mean tons of traffic, people, dogs, bicycles - NOT horse friendly.

- That the grounds cater to other users and make it more viable for the city.

- More parking is great.

- Adding much needed dog park and encouraging use by many more locals and visitors (tent camping).

- That includes everyone, not just equestrians. We are all part of this community.

- Inclusion of multi-use facilities

- Lots of different activities available for my family

- I like that it would/ could be used by more local people. There are more options for people to do. Uses more area of the grounds. I would like to see as much area used as possible. Will also bring new people to the grounds. The concession stand could be a great moneymaker for the ground's upkeep.

- I like the multiple uses for the community.

- Upgrades

- I like that the bike park and disc golf are away from the arena and area. I do like tent camping. I like the concert center idea.

- Interpretive kiosk

- Much prefer a multi-use plan - offering options for a great percentage of the population. Dog park, frisbee golf, biking, hiking and a family-oriented park focus represent the greater needs of the community.

- Multi-use with focused areas for different activities

- Like the multiuse ideas

- The roof over the equestrian arena

-
- F, J, K, L & M. Further I don't believe Concept B is in the Best Interests of this area.
-
- Dog park, activity areas for more sports
-
- ABSOLUTELY NOTHING! Totally absurd plan.
-
- The multi-use area.
-
- The multi-use aspect. Mountain biking, disc golf, multi-use area for concerts/events, etc. Much better use of space.
-
- Also, a good plan. I do not know how busy the equestrian facility is.
-
- The playground
-
- Dog park and concert venue
-
- Building of a proper cooking facility.
-
- Probably cost less.
-
- Mountain Bike Skills Course
-
- outdoor concert\camping
-
- That it includes disc golf
-
- Dog park is far from equestrian activities.
-
- It considers a lot of users.
-
- Incorporating an 18-hole disc golf course into the design is a great choice! It is much needed in the area. The rodeo grounds are a perfect location with trees and trails and fairways already in place. For your information, The neighboring communities with disc golf courses are Knox in Kelowna (too small and congested due to popularity of the sport and lack of another course in the area), Naramata 3 blind mice (a wonderful course, but not accessible to as many people as it is on a steep mountain and difficult terrain), Marinaview in Penticton (a small 9 hole pitch and putt essentially, great for intro but not a tournament level course). There is a high demand and need for a new disc golf course in the region and many opportunities out there to have installation of the course paid for, subsidized, or sponsored, so could likely be even cheaper to install. Disc golf is such a great low-cost recreation opportunity for families and people of all ages. Please consider the amazing opportunity for the community of Summerland and beyond. I am so excited for this wonderful opportunity; I might relocate to Summerland from Penticton if this goes through.
-
- The equine use facilities.
-
- Fixing up riding rings. Making the place look better with plantings.
-
- It's great that it incorporates many other user groups in the plan. This would truly make this large area more useful to a wider population. It seems to take into consideration keeping the dog area and horse area separate.
-

- Frisbee golf is interesting, low intensity use of the extraneous area, removing it from use by motorized users.

- Everyone can enjoy it for different things.

- S.

- The Disc Golf Course

- Mtn bike skills, disc golf

- Disc golf course

- A new disc golf course

- The mountain bike skills area especially pump track. Flex parking area for food trucks and other events and a play area

- Much needed disc golf course. Dog park.

- Mountain bike skills park

- Disc golf course. People would travel for afar to play. Communities all around the interior have courses and is a real draw now. I like the idea of onsite camping that would be ideal for concerts and events. The playground area and off leash dog park are good additions. The plan is definitely designed for the whole community.

- Upgraded grandstand.

- New clubhouse

- Off leash dog park. Makes it easier on residents and horse owners since there's none officially in Summerland.

- The disc golf course.... is an excellent idea!

- Includes a disc golf course.

- Multi-use is great as long as the equine related stuff stays as a primary focus.

- I do not want these lands used for Concept B. I feel Concept B should be developed closer to town. I do Not object to Concept B being developed in another area it is all a plus for Summerland.

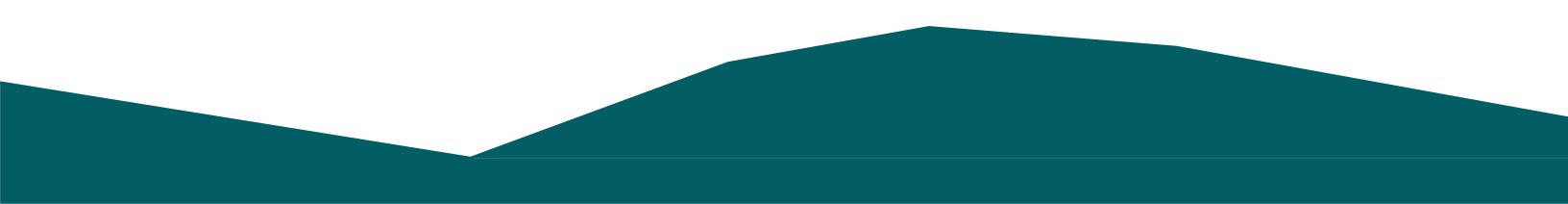
- Disc golf course

- Fenced dog park and the covered second arena

- Trailhead?

- Tenting sites

- It is multi-use and the dog park.



▪ Variety of activities for families

▪ The facility can be used by many different groups in our area. It would be a unique combination of amenities that would all be well utilized. Community support might be greater for Concept B, as it is relatable to a larger part of the population. Finding corporate sponsorship will be easier for a multipurpose facility.

▪ Same as Model A

▪ Disc golf course

▪ More inclusive of many activities

▪ The Disc Golf course is so cool, Summerland is quickly becoming the only place around that doesn't have one. Also, the tenting sites are a nice touch.

▪ Another great plan. I do like the multi-use focus. Disc golf. Etc. Both plans have a lot to offer.

▪ It includes a disc golf course. Summerland has the potential for a championship level disc golf course that would be a huge draw for the growing disc golf community, locally and beyond. Golfers would travel to play the disc golf course being proposed in this plan.

▪ That can appeal to more of the population and really is the only fair thing.

▪ The dog parks! Practically everyone in town has a dog with very little space to run them.

▪ The explicit inclusion of tent camping

▪ Disc golf

▪ Disc golf course, parking, camping/concert area, dog park

▪ Improved trails and riding ring

▪ The large dog parks.

▪ The disc golf course suggestion.

▪ The equestrian facilities.

▪ The fenced dog park is useful for residents.


▪ Multi-use utilizing the entire property. The other activities are away from the arena and equine facility.

▪ New clubhouse and concession

▪ The fact that it's a multi-use plan instead of just allowing a small number of people to access it while all taxpayers are paying for it.

▪ I like that the facilities are getting some attention and renovations.

- I don't like anything trying to encompass way too many things for a property that was initially established for equine use. Horses and many of those other activities like a dog park, do NOT mix!!
- The equestrian part
- Love the multi-use part! I ride, my kids do not. Being able to entertain them while attending an event at this proposed venue is awesome. I run a private facility in Penticton, and we are adding in a child-minding yard for example. It makes the venue family friendly, which is vital to its success!
- Covered riding space.
- Disc golf course
- The overflow area in the back
- That it will be a multi-use project. With the increased interest in OHV activities, the necessity for additional camping areas is very obvious.
- The New disc golf course
- That this land can be used by everyone
- DISC GOLF! Seriously a major draw. There is no downside to having a course here. People are still able to enjoy the walking paths (with a safe design). It's something that the vast majority of locals/tourists can enjoy as an activity. What's better than walking? Walking with a purpose!
- That it's multi use
- R, disc golf course
- A lot of room for activities and bringing people together, disc golf course, camping, biking, and concerts, what's not to like.
- Wide usage for all ages brings more attraction into Summerland. Disc golf courses work well with other activities and are ecofriendly, economically beneficial, affordable, accessible and have both physical and mental benefits.
- The disc golf course can co-exist.
- The new disc golf course!
- Updated or new buildings, parking, and signage at the trail head by the railway. Disc golf, dog park and bike tracks add more recreation. Campsites and horse camping are good. Could have more camping if you didn't offer a dog park.
- The Mountain Bike Skills park
- I believe this is the better use of the land. Everyone should have access to use, not just people who can afford to ride horses.
- I would like to add the concert area.

-
- -I like that it still has a big equestrian component.
 - - I think it is important that the equestrian focus is maintained.
 - -I like that a covered riding arena is still on it
-
- EVERYTHING! I can't even narrow it down what I like best...well disc golf of course is #1 but all the rest is such a great addition for multi-use.
-
- This would allow for multiple options for activities that are more accessible to everyone. Free things anyone can try like biking or hiking, or disc golf are a better option.
-
- I like the idea of a new clubhouse and incorporating the cooking shack into it for a single building that covers those needs. I also am in full support of the multi-use aspect of this plan.
-
- Draws a number of different demographics to the area such as dog walkers, disc golfers and mountain bikers. There is very limited beginner mountain bike in the whole Okanagan. I'm a strong advocate for the skills park that would give youth a safe place to learn to ride.
-
- I like the multi-use purpose of the facility and all the different activities and people it can attract to use the property.
-
- Selective private event rentals, if they do not displace equine events or use (lessons, practice, trails, small equine events). Use of clubhouse and concessions (only).
- 

Question 7

CONSIDERING THE MULTI-USE FOCUSED MASTER PLAN (CONCEPT B), WHAT YOU DO LIKE LEAST ABOUT THIS CONCEPT?

-
- Dog park and disc golf are not a good horse mix.
-
- Possible conflicts between horses and other user groups. Demo of existing clubhouse.
-
- A new disc golf course can be dangerous when near horses. Seems like an irrelevant sport - there is disc golf in Penticton.
-
- I would hate to see the immediate trails where the mountain bike area is noted to be lost to bikes... that area is a very nice, safe, low-key area for beginner riders and horses to enjoy trails they can get to easily and not have to interact with people and their dogs as much as on the TransCanada trail. I think if you're going to have multi-use, then areas need to be very clearly marked and separate. I think that it is important to respect that the rodeo grounds are the only equestrian focused area we have. The more diverse it is, the more various parties are keen to book it as well, which concerns me that we won't have as many opportunities for horse use.
-
- Disc golf
-
- Designated playground, it should remain totally natural setting. should not cater to sanctioned bike related activities. Mountain biking and cross-country biking do not mix well with pleasure and trail riders. The entire area has been treated as an off-leash dog park since the Trans Canada trail access was developed. The first 300 meters of the trail is a mine field for dog waste and highly excited dogs just released from the vehicle and is the least enjoyable place for an equestrian guest to the site.
-
- Mountain bike already lot's around but only horse facilities
-
- ABSOLUTELY EVERYTHING! Are you intentionally trying to destroy the SRG by proposing a disc golf and mountain bike skills course, and off leash dog park? Building a new clubhouse and demolishing grandstands just doesn't make any sense.
-
- I think this is a great plan.
-
- The lack of washrooms out by the concert space, disc golf, and mountain biking area.
-
- The disc golf course (potential conflict with horses)
-
- Surely flying objects and bicycles can find a different home. Much easier for them than for the horse community. Maybe the area before the garbage dump on the right side of the road. Maybe that could be cleaned up and the structured activities happening there?
-

▪ This concept will bring a lot of problems and safety hazards to Summerland. Disc Golf and bikers in an equestrian facility will clash and bring potential lawsuits and physical damage and will anger and frustrate a lot of people. An equestrian facility needs to remain that. A multiuse area that will scare horses will not end well.

▪ The enclosed dog park area. It's just a big, fenced grass area. Boring

▪ The caretaker home is taking up a lot of good usable space in the middle.

▪ Cost to taxpayers

▪ Golf course: why waste money when there are enough golf courses in Summerland.

▪ Off-leash dog area (I don't think the Summerland residence are going to use this), Disc Golf (unless you have extremely high fences, this could be disastrous).

▪ Trying to fit too many amenities into this 1 location where other Summerland Park space may be better suited (tenting, nature playground, bike skills, bike repair, dog park, disc golf, sporting events, equestrian, festival/music venue, hiking, equestrian) Existing traffic flows/patterns not considered in designs. Equestrian access to Conkle Mountain trail network is not considered. Hole # 2-disc golf terminates at a significant intersection for a multitude of users, Hole #3 intersects where in Concept A the "new" equestrian trail to avoid the festival area would cross. No equestrian camping in plan. New stabling "k" located near arena ingate? which would impact events. Parking lots scattered all over the site ...

▪ Disc golf course holes

▪ Concept B offers a lot - however, there is a lot of space dedicated to equestrian activities. Allocating space for basketball hoops, an outdoor skating arena, and a children's play area would make the park feel more community oriented.

▪ Mixing horses with dog parks and motorized vehicles etc. could be very dangerous. The costs are greater.

▪ The campsite idea

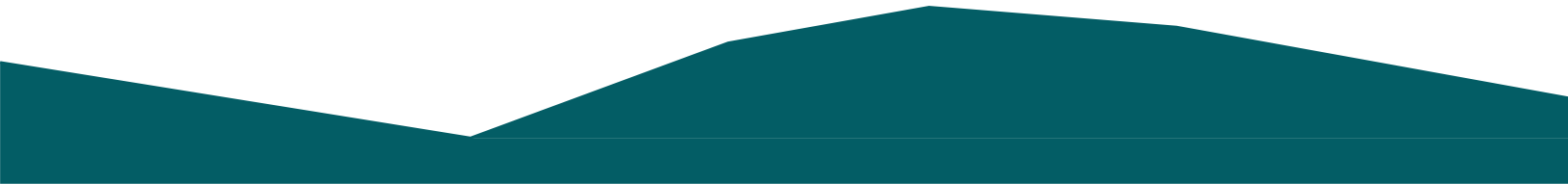
▪ I dislike the dog park and the playground concept.

▪ Disc golf: why are we paying for such things.

▪ No equine facilities

▪ That there wouldn't be a round pen

▪ Expense to put in a covered arena. Where are the other 15-disc golf holes going to be installed, the equestrian style camping offered more flexibility for camping units. You have taken out all of the existing camping near the bathroom facilities. Is a 30M riparian setback necessary?

-
- No horses
-
- No improved washrooms??
-
- Distance from activity areas (other than a buildings) to the bathroom areas
-
- There is no mention of the old potable water well being replaced. The well needs to be upgraded in order to provide the amenities proposed and also to meet Canadian Drinking Water Quality Guidelines. This cost should be added to both proposals.
-
- The camping sites, disk golf, mountain bike skills area is all suggested for a very beautiful quiet area where people can currently embrace nature not far from town. These areas are lovely as walking trails and should remain as such. They are great access for equestrian usage without significant dangers to the horse and their riders, with the implementation of these other areas, the danger increases and an area that was once safe and usable becomes overcrowded and unusable.
-
- I can't tell under the design but does the dog park have separate parking? If not, I wonder if it would be appropriate to have some parking closer to that.
-
- Dog park, no one would use it.
-
- Horse trailer parking and camping. The tent camping isn't convenient for the horses and trailers.
-
- Trying to fit so many things in close proximity could definitely cause issues. There are many places to ride bikes, play disc golf and far more places to take dogs than there are to take horses! It would be such a wonderful thing to keep the rodeo grounds focused on horses. The space to accommodate horses and camping with them will extend the distance people are willing to travel to come and participate.
-
- Is there enough parking?
-
- #1 - mixed use with areas E, G, R, S and U. All of these areas pose a very dangerous setting for equestrian use.
#2 - Location of K, it is blocking the main exit to the large arena. It is a better place between the two arenas for ease of equipment use in either arena.
#3 - M is not a good location for vehicle parking. This alley way is used for moving horses between arenas, stabling and trailer parking. It is narrow as is and would be dangerous to both horse and vehicle. It also creates a loss of grandstands.
-
- No equine camping, no round pen, no increase in stabling
-
- There's no fenced dog park. This is a huge oversight and would be so well used if it was just given a chance to succeed.
-
- Off leash dog park is not going to be horse friendly. Losing one trail along the length of that.
-
- 

-
- The concern about horses being spooked by things happening around them and being able to manage multiple users at the facility.
-
- Tent camping doesn't belong there in my opinion without disturbing vegetation & wildlife i.e.: rattlesnakes, bears.
-
- Nothing, it's a better plan.
-
- The disc course and bike training area seem equally ridiculous to me. The entire mountain has bike trails from easy to difficult why would they need more? Disc course? That space should be given to off leash dogs as surely there are more dogs than disc users in this town!
-
- I prefer this plan.
-
- Difficulties/ obstacles for equestrian activities outside controlled areas (arena) posed by dog, bike, golf, camping along trail.
-
- Lots of different uses mean a draw on any water resources. Also, since it is very close to forests, what natural fire protection is considered?
-
- A more structured playground. No mention of animal control, for example, coyotes, bears snakes, etc. A dedicated first aid room might be necessary.
-
- Concerned that horses will lose the trails for use to the mountain bikers.
-
- Not enough room for horses and trailers. The layout of the clubhouse and caretaker were not good. Better layout in previous plan.
-
- The off-leash dog park is not needed, nobody has their dog on a leash on the trail already. I don't like the new club house; the disc golf course passes over a main trail. It needs to start more out of the main trail head way, you could put a gravel road and parking further down for the disc golf. I think the bike park would be better situated where the start or second hole of the disc golf course is.
-
- Poor use of some space considering location to town.
-
- The level of expenditure seems high, especially for Summerland's budgets and all the other recreational needs - perhaps best considered as a long-term plan. Would prefer a slow gradual implementation with opportunities for flexibility if demands change. This is the last large park in the district so need to allow for future considerations.
To me environmental sensitivities need defining and clarifying. A lot of this park is already disturbed land. Notice that Trout Creek extends beyond the park boundary and should be considered for future park expansion to protect riparian assets.
-
- Not sure about the adequate space for horse use. Stabling etc.
-
- Needs more camping and if not offering dog park could have more camping. If you have agility and sensory items at the dog park, I'd be more likely to use it and want it there.
-

-
- Are there any provisions for ATV?
-
- Not enough parking, especially for horse trailers
-
- Taking the parking camping up to the caretaker's current house area is a better idea from Concept A, and a new caretaker building elsewhere.
-
- If the facilities are only a little bit horse friendly it makes it less usable and safe for families to work and play with their horses. i.e.: Young kids riding horses means a Round pen to 'get the beans out'. Ensures the horse is safer to ride.
-
- Mountain bike area and golf course.
-
- Introducing more bikes and dogs to a horse venue creates risk to riders.
-
- I don't like any of it with the exception of F, J, K, L, & M which maintains the Equine facility.
-
- Playground etc. I do think this usage is met elsewhere and unnecessary here.
-
- Need more bathrooms.
-
- I don't see a lot of areas for larger rv's that could attend events. In the past, some events have had up to 120 rv's.
-
- It doesn't show whether all trails will be named and designated well for those who are unfamiliar with walking the trails (something that is very helpful and appreciated when walking trails in other unfamiliar districts)
-
- Equine focus
-
- Not equestrian focused. need to protect and stimulate equestrian activities.
-
- The off-leash dog park feels unnecessary. And the bike skills park, while cool, could be installed in another more popular biking area. Would be ideal to focus on Equestrian use, campground, walking trails, and a disc golf course.
-
- Limits equestrian activities to what is currently being done, no room for more or bigger events.
-
- Equestrian should be primary use.
-
- Camping!! Tent sites, and the dog park area
-
- Nothing
-
- The picnic area shouldn't be tucked in the back by the equine area. Put the picnic area in a more accessible spot closer to the center of all the areas; that way it has a better opportunity to be used by all user groups of the rodeo grounds.
-
- Dog park should NOT be up here. Should be closer to town. The design is long and narrow (not safe for multiple users) and is crammed into a gully full of cactus, yet they say cost of only \$25,000 (!!!). That won't even cover the fencing, never mind that the land needs to be made safe, and what about accessibility, especially in winter?? What will the winter maintenance costs be?
-

▪ Dog park. Outdoor playground. Grandstands. Golf. Roof over ring. Existing bathroom building. It's too old.

▪ Mountain bike trails

▪ Nothing

▪ G.

▪ It might be a little too much to try and fit into one area. Off leash dog areas can be tricky as people assume their dogs can be off leash while traveling to the park.

▪ Could use additional bathroom locations.

▪ Dog park. Why have a dog park next to many kilometers of dog friendly trails. I have a dog.

▪ I don't understand whether the district would only fund 3 of 18 holes of disc golf course. That seems very short sighted if that is true. Do we only put up 2 sides of fencing for the off-leash dog park? That is just as unfinished. Why? Why the need to keep a caretaker building? Would district staff maintain the park like any other park?

▪ I am totally opposed to a disc golf course whether it be 9 or 18 holes. Environmental damage, garbage, and public safety are major concerns. A 1-acre dog park is unnecessary as there are plenty of dog parks in Summerland. An acre is a lot of land.

▪ Disc golf course & mountain bike course - too much impact on the environment there due to soil damage, vegetation compaction, litter

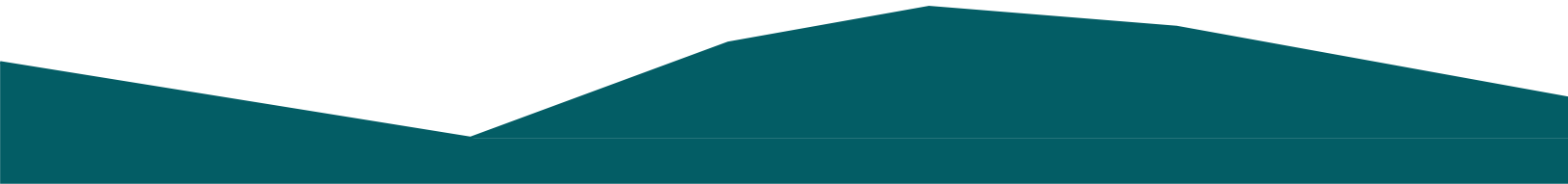
▪ Can't say.

▪ Trying to book multi-use events, Liability/danger with horses and other users such as bikes and the Frisby course.

▪ Very limited horse trailer parking
Safety of trails with Frisbee, mountain bikers and equine

▪ Taking away the only shade grandstand M is a mistake. Putting parking beside the arena in its place is an even bigger mistake. You have 1200 pd horses walking by there, the cars are going to get hit especially if it is a big show. Also, the cars will be driving past the entrance to the arena to get in and out of the parking area, that is definitely not safe for drivers or riders that is a huge liability. The car parking should be somewhere on the northwest side. maybe move the care takers house and put parking there? Then you're not mixing horses and drivers and cars that have no clue how to read a horse around traffic or kids trying to control a horse around a driver that doesn't have a clue. I also think there still needs to be pens for the horses somewhere that water is within a reasonable distance.

▪ Horses and dogs don't always mix. Dog owners don't understand the natural instinct in dog will trigger it to chase. This can be very dangerous for the dog and the rider.

-
- Since we don't use the rodeo grounds regularly, I can't say. Those who use it, or plan events should have the most input. We just think it is great that the grounds will be preserved and UPGRADED!
-
- It is being proposed for these lands, not good. Much better if developed closer to town.
-
- There are no plans here for camping/trailer parking on the top bench. could this not be moved to the east of the residence trailer and still be feasible?
-
- Dogs and children don't mix well with horses.
-
- B- Enhanced Signage- Bike Repair area
D- Garnet Valley gang Clubhouse unless the washrooms are added.
R- Disc Golf
S- Mountain Bike Skills Course
-
- Use a bigger playground.
-
- There would likely be conflicts between the groups if one group needed all of the amenities to host an event. For example, the camping, parking, and washroom facilities would not meet the needs of a three-day horse show when all the other areas are being used. There doesn't seem to be any additional washrooms/showers planned for Concept B, despite the addition of the concert area and camping. The current washrooms (J) are very small and are on the far west side of the property. Perhaps there is a plan for washrooms in the clubhouse? If those buildings stay, they will need to be upgraded to health/safety standards. Why are there only 3-disc golf holes going in? Is that fair to the players and will they even bother to come to the facility with only three holes to play?
-
- Price: how does the Trans-Canada trail cost so much, it is useless unless I can get to Kelowna on this side of the lake using a bike trail system.
-
- With so many things, there may be a parking problem and just general traffic increase continuously.
-
- The lack of equestrian sized camping sites. I am unsure about the inclusion of disc golf and mountain bike terrain - these could work but could also create conflicts with other uses if not well managed.
-
- It all looks great, good use of shared space and will bring a lot more people to the area.
-
- The dog park, dogs could potentially get loose and run around the horses.
-
- I think horses, disc golf and an off leash are a recipe for disaster, especially for children and new riders. What sort of buffer would be installed between the areas?
-
- Too many activities do make it harder to co-exist so narrowing it down a bit can help.
-
- Not having a disc golf course
-
- Would need good planning to be done correctly.
-
- 

▪ Disc Golf and Mountain bike park. Multi use is fine such as sharing with the Blue Grass and other concerts, but the addition of disc golf and mountain bike park should NOT be added. Many people access the grounds through these areas, and it would be in conflict. I also understand that a mountain bike park here would not be beneficial to the bikers (that's what bike friends tell me anyway). Also, too much parking and activity that would disrupt the rustic, quiet and natural environment of the area for riding. I like Mayor Holmes comment at recent council meeting of not rushing into decisions about the areas outside the arena vicinity, but rather focus on improving the arena and buildings and improving trail head are for now and then reassess recreational needs down the road as they could change. If we improve the arena facilities (footing, buildings, stands, etc.) the facility use will increase significantly I believe so we should wait and see what transpires as a result and then make plans for other parts of the grounds later.

▪ Not much stabling for horse events, the camping option with horses isn't there or not as nice of a location.

▪ The disc golf area

▪ The dog off leash dog park

▪ It has less grandstand space.

▪ needs more parking spots.

▪ How short the design area for the disc golf course is shown. I have hiked to that location many times and have a suggested layout that would go through the area in this plan. It carries up the hillside weaving back and forth up each hole as to tear up so to make the climb more accessible. The course would go through the suggested bike skills park. Then it would continue up the mountain to the flats on the southeast hillside at the base of Mount Conkle overlooking the canyon. Then across the flats to the north and would make its way back to hole 1 near the suggested start location on the plan. This would be an 18-hole championship course. With a length of approx. 6000ft.

▪ The dog park.

▪ As previously stated.

▪ You can't have a dog park next to an equestrian center. The dogs that run around and bark make horses nervous and it's not safe if a dog that doesn't know horses gets out. Not a good combination.

▪ That it doesn't include more

▪ Nothing. There's enough land here to accommodate many activities.

▪ It is labelled concept "B," giving the perception that it is the lesser of the proposals. This is a far superior proposal.

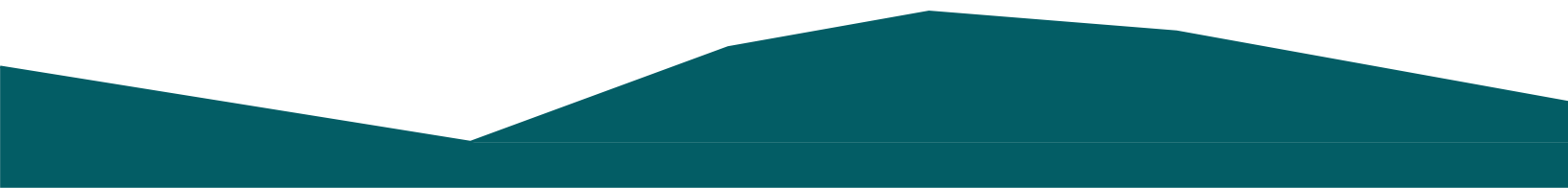
▪ S, mountain bike skills course.

▪ Too many usages in a small area could work against overall the goal.

- The potentially dangerous impact of dog parks, mountain biking areas and disk golf on equine activities. Particularly concerning is the lack of access for horses from the Rodeo Grounds to the mountain trails. It wouldn't be safe to ride across the campgrounds or the disk golf course.
-

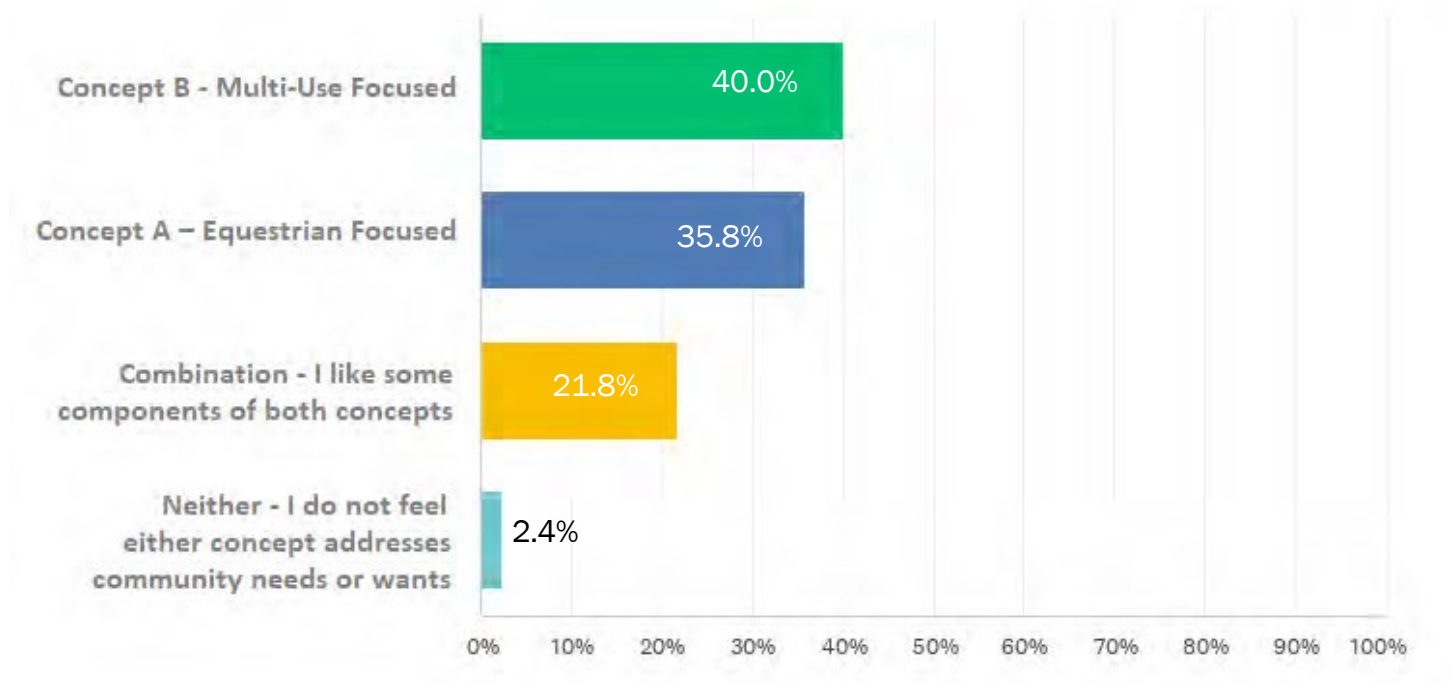
- I dislike the disc golf course. I am not against this in general, but I just don't think disc golf and horses are a mix. Especially being we are a trail head and main hub for many trail riders. Having flying discs coming at people on horseback is a recipe for disaster.
The off-leash dog park is also concerning. The location in this plan looks to be alright in comparison to the horse area so that is good. I would be concerned if the park was moved elsewhere though and had barking and running dogs too close to the horses and trail heads/access.
the lack of equestrian camping
not upgrading the bathrooms
not upgrading the water. We need a way to water the arenas.
-

- Disc golf, bikes, dogs, and young children are not a good mix. Horses are large, uneasy in an unfamiliar environment and can be unpredictable and easily spooked by unknown or unfamiliar sights and sounds. The grounds would not be easily accessed by all (elderly) and are seasonal.
-



Question 8

CONSIDERING BOTH CONCEPT A AND CONCEPT B,
WHICH DO YOU PREFER?



Question 9

IS THERE ANYTHING YOU FEEL IS MISSING FROM EITHER OF THE MASTER PLAN CONCEPTS THAT YOU WOULD WISH TO SEE? (PLEASE EXPLAIN)

▪ Any plan should include water/septic and maintenance/repair of corrals, arena, footing, fencing etc.

▪ Larger parking area for horse trailers and overnight horse camping areas.

▪ I think the equestrian concept is best, and there are many places for other activities, although an outdoor play park is fine. Disc golf is dangerous to both equestrians and dog walkers alike. But have fun flying off your horse when a disc flies at you! Dog park? Improve the one at Dale meadows close for more users including me, it's pathetic& small or make a large one by the water. Camping horse or not is reasonable. Renting the facility to horse or none alike reasonable. But let's keep this incredible equestrian facility & improve it! ♥♥♥♥

▪ Picture plans are relatively useless, and both these options have large price tags attached. The area is presently well used and accessible by off-leash dog owners, casual bike riders and trail hikers. Horse enthusiasts can get access to the area for day riding at the lower entrance level but access to the arenas, washrooms, stalls etc. is always denied due to full booking of the facility when often it is just the clubhouse area being used. With few weekends available to horse families to actually go and enjoy their four-footed friends in a safe arena facility it is frustrating to be told that the SRG are not available for the weekend due to a booking on Saturday night. accessibility issues such as these cannot be demonstrated on a picture concept plan.

▪ Focus on horses only one around.

▪ Common Sense!

▪ No. Great job on both plans! Very well thought out.

▪ Develop the equestrian facility into a well-kept equestrian facility that can be used more so you don't have to think about making it multiuse. There are other areas for discussion golf and mountain biking. An equestrian facility needs space and is a vital part of this community and one of the few remaining areas for horse owners. We live in Peachland and most of our horse trails and facilities do not exist, and we are being pushed into Osoyoos which have been upgrading their equestrian facilities.

▪ Just fairness to all parties involved. Something for all residents. Handicap friendly. Maybe a park for kids that have disabilities as we do not have many accessible parks etc. For their use. Keeping. The park wildlife friendly and leaving the wildlife as is. Rattlesnakes are endangered in BC so make sure the dens are protected when you do your construction of the area.

▪ I do not feel the contractor really understands the loss of equine related facilities we have experienced in the Okanagan. Most are private now with sour outcomes and memories of days gone by. Equestrian activity is something that can be enjoyed by all participants and viewers and is something that needs to be preserved and encouraged.

▪ In order to come up with an appropriate plan we need to determine what are the priority amenities we want to see in this space (what makes sense for other Summerland spaces), look at budget constraints for 15 years and come up with a practical design plan with well thought out layout. Also consider Conkle Mtn in the design plan as things like Disc Golf /Mtn Bike Skills could move onto other space in the larger area to reduce congestion and interface concerns.

▪ An outdoor skating arena, basketball hoops/volleyball, and a children's play area.

▪ Equestrian knowledge on the way horses works and what could become an overwhelming push to have equestrians feeling unsafe bringing their horse to the area.

▪ If we're going to be encouraging more use up there, what are the fire risk implications?

▪ turn-out area for horses. Lounge ring.

▪ I just want to make sure that the arena and stands will be given the focus they deserve to preserve equestrian events. It would be incredible if the arena were covered for year-round equestrian activity while still expanding the use of the grounds for families and dog owners.

▪ Additional bathrooms, if you are proposing additional camping sites, but no amenities for those campers, we may want to plan for future washrooms or even seasonal portable washrooms. Staging for the outdoor concert site, electrical upgrades for the outdoor events/concerts. What would be nice to see is the list of updates & upgrades that could enhance the next 10-year use of this facility.

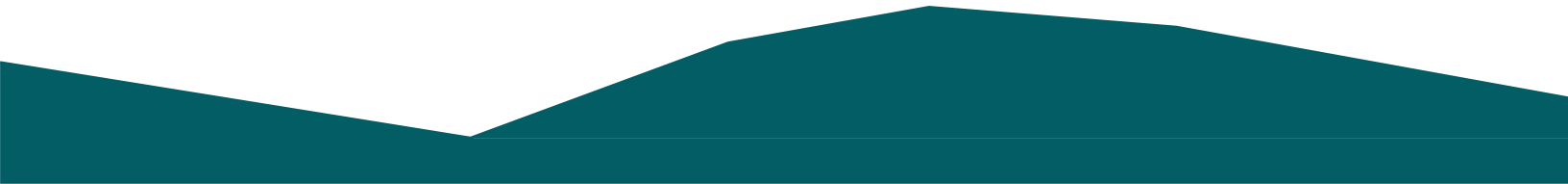
▪ I seem to have missed the questions about plan B. I don't think there should be disc golf or bike skills park. There's a bike skills park in Kelowna that almost never has anyone on it. And the cyclists have been granted plenty of access to historically equestrian corridors. And they're taking over and then say horses are ruining all the trails (???). And most bikers know nothing about noxious weeds such as Hoary Alyssum and Knapweed and go mindlessly spreading these by riding their bikes through them. The horse community cares about the land and knows how to look after it.

▪ Additional stalls (do not need to be covered) to replace the old stalls adjacent to existing covered stalls. New stalls need to be in the same area.

More stalls (12x12 pens) on the outer perimeter of large parking area that could serve as additional stabling for users to have their horses close to their rigs for shows, clinics or camping. Better use of surrounding area for equestrian activities that could generate revenue and create a DESTINATION EQUINE FACILITY, like a mountain trail course, cross country course, widen and grade the trail network for carriage driving. These features would allow for more clinics and sanctioned shows servicing the equestrian community regionally and provincially.

-
- Outhouse or bathroom building near trails / mountain bike area signage explaining the importance of the protected area.
-
- Disc golf option
-
- Dog area. Dogs and horses may not go together but this is a huge parcel of land.
-
- I understand the town wants to use tax dollars to provide for a wide base of people. But too many activities are going to make this very unfriendly for equine use. I'd be happy spending a lot less and keeping it more equine focused. (I keep my horse in Summerland so put a decent amount of money into the community between filling up gas, groceries, incidentals, and I use the rodeo grounds and trails, even though I live in Penticton).
-
- Potential boarding to allow horses to be permanently at the rodeo grounds and create a community that can rally around the grounds.
-
- More garbage bins along the trails
-
- I am not qualified to comment on equestrian uses. I use this area 3-4/week hiking with a dog. I like best the 'natural' state of the area. Now the rodeo grounds and trail users have no overlap, so it works really well in my opinion. I don't want development which would require me to walk near a horse.
-
- In Plan A there are trail improvements on the Trout Creek border that avoid possible overlap of non-equestrian activities and less cluttered access to trail system
-
- Maps up on the summerland.ca GIS site.
-
- First aid stations, wild animal control, somehow work with the train. Many people ride the train. Would be nice to encourage train riders to seek out rodeo ground activities. Make it so families go for a train ride and then head to rodeo grounds for more fun and adventure.
-
- Wildlife issues as we have a lot of bears, coyotes, and rattlesnakes in the area.
-
- The arena footing needs to be upgraded. It needs to have a proper water supply as it should be watered daily. This would increase usage.
-
- More than one small washroom that has a central location.
-
- I am unaware of the extent of public input. The plans, especially the equestrian option, seem very limited low level of use. While the park is currently on the town outskirts, some day it could be vitally important for larger amenities.
-
- Nothing I can think of at the moment.
-
- ATV options
-
- Yes, more equine space. Atv staging area.
-

-
- I believe that spaces like these should be developed so that they can be used by multiple groups. It needs to be stressed that all people using the area need to be aware of the need to be respectful around horses. Just educational info, i.e., not disc golf in horse area...
-
- The place is good as it is. The arenas could do with some maintenance. The footing is not that great.
-
- I am only in favor of maintaining this area as naturally as possible, People need to know the History of the area and learn to respect it.
-
- No, excellent ideas.
-
- As said earlier, having the parking camping from Concept A into Concept B, with a new caretaker building elsewhere is the only part of concept A I prefer.
-
- A mountain coaster similar to Revelstoke's. And Mini golf
-
- Washroom and power to area Q.
-
- WELL marked signage (name of trail and directions) along every trail.
-
- Suitable shade trees planted.
-
- The washroom facility would be good to include in concept B as well. I also believe there is room to incorporate disc golf into concept A too if that becomes the more favorable design. Disc golf requires very little by way of facilities, a parking area, a few signs, a bench here and there is nice, and tee pads and baskets. A camping area is a bonus for hosting tournaments.
-
- Breakdown of how costs obtained and itemized. Exploration directly with equestrian groups about what THEY actually need, NOT the public's opinion of what they should have!
-
- Close off road access to Conkle mountain. Too many motorized vehicles get up.
-
- Would any part of the land be used as a defined toboggan run? There are few safe places for kids to sled.
-
- Perhaps the Garnett Gang area could be allocated to parking & maybe it could be relocated to the northwest of the KVR storage facility for the locomotive.
-
- On plan B seeing something for the equestrians included as the multi-use
-
- An announcer's tower for timed events, tower gives better visual. a watering system for the arena, and arena set up for rodeo events - team roping; chutes, return alley, cattle holding pens.
-
- Disc golf course
-
- The money may be missing. But let's make Concept A happen on the Rodeo grounds and Concept B happen closer to town.
-
- Bathroom upgrades for year-round use
-

-
- I really think the equestrian focused model is still very versatile and can work for both parties just add a dog park somewhere in the east part of the property, maybe part way down the hiking trail, but keep the M grandstand for shade, and do not mix cars and horses. very bad idea.
-
- More washrooms as stated in my previous comments. Portable toilets are a short-term solution, but campers and festival guests and vendors would expect more. There isn't any mention of water treatment plans on either option. The water in the well is known to have higher than allowed levels of uranium and possibly manganese. The turbidity is often high, but the other minerals will require more advanced filtering to remove them from the water supply. The caretaker's house will require a new septic field when moved to a new location on Concept A, and that was not budgeted for or mentioned in the list of upgrades. There has been vandalism and theft at the SRG. The lack of perimeter fencing is a concern, but possibly not feasible. The 24/7 caretaker is effective but only if he/she is there 24/7 and able to screen visitors and do security checks etc. when booked and on long weekends in the summer.
-
- I like plan A, don't mix children and dogs.
-
- Concept A could use a disc golf course.
-
- No. Both plans are well thought out. Those who use the facility regularly and plan events there (now or in future) would know best.
-
- I don't think I saw or read anything about having interpretive signs about the local ecosystems and habitats at high traffic points in the park.
-
- An open picnic space further to the east side of the property would be great.
-
- Please consider an 18-hole disc golf course
-
- More stands in the stadium. With what is currently proposed would mean no more ability to hold larger events such as musical rides or rodeos.
-
- Yes, more room to design the disc golf course.
-
- Feel like both have great plans in just move stabling all together and add mix in a few ideas that option b has that A does not.
-
- A dog park in the #2 plan
-
- picnic areas for families
-
- Built in wildfire mitigation and infrastructure is becoming critical in this region.
-
- Disc golf
-
- More funds for creating a world-class disc golf course.
-
- As stated, a new/upgraded parking area with public flush bathrooms and drinking water that could be used by all visitors to the area.
-
- 

▪ Upgrading the footing in the arena would be great. It is currently not ideal and would provide a lot more opportunities for larger and better equestrian events. Upgrading equipment in the arenas. for example, roping chutes and bucking chutes. We did have bucking chutes previously, but they were taken down due to safety concerns as they were old. This would provide more opportunities to host different types of events. This in turn could also provide a larger revenue stream. An announcer stands for replacement for the arena. Our stand was taken down due to it being old and unsafe.

I also think in the equestrian focused concept We are missing the opportunity on some other equestrian upgrades that could be large money makers. for example, a cross country and/or mountain trail course. We have very few public equestrian facilities left in BC, especially in the Okanagan. We have a big opportunity here with Our facility and the ability to generate good income not only from the grounds but in Our community. When We host competitors from out of town, they are filling up their diesel pick-up trucks, renting hotel rooms, eating out and purchasing groceries.

▪ It doesn't have to be all to one side or another- however- some of the activities that proposed in plan B are not meshing with equestrian activities and horse well-being.

A concert area sounds great, since most concerts are during evening times, when the horse activities are all done by then.

If the facility is going to have a makeover for equestrians, you can draw in lots of equestrian events and have the place pay for itself in a few years. If horse ppl will come not just for events but also camp with their horses and go for rides on the KVR, that's another way to bring income from people who are not competing, but like to ride out with their horses, and come back to a nice camp site.

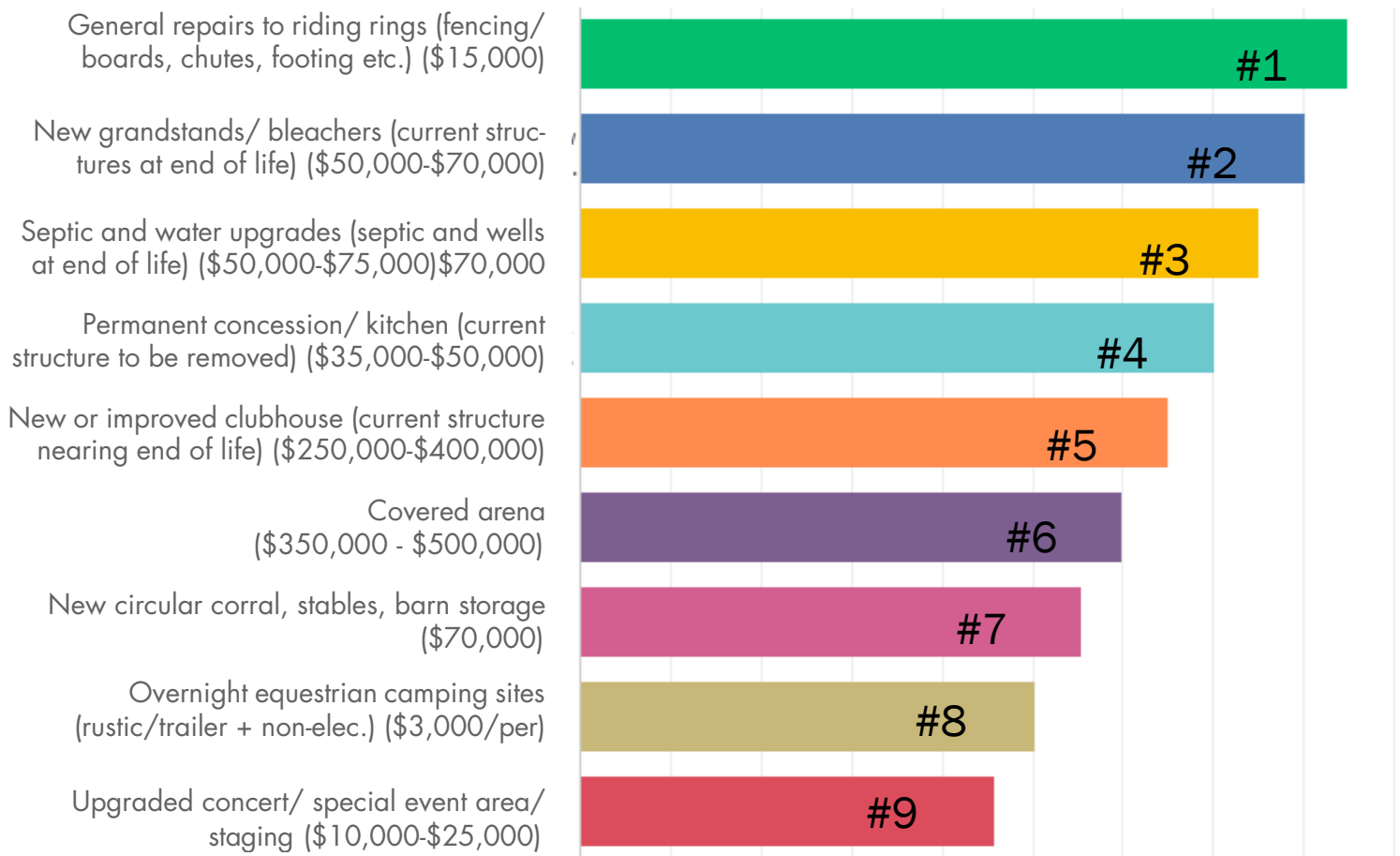
▪ I love the initiative to better use the land.

▪ I'd like to see if there are any plans to improve the water system and provide safe drinking water for use in the kitchen building or just in general since that area historically has high turbidity and uranium levels. If people are camping or attending an event, water is important.

▪ A connection to the train. Plays at the park (the same as the train). BBQs after the robberies (as before - or still happening??)

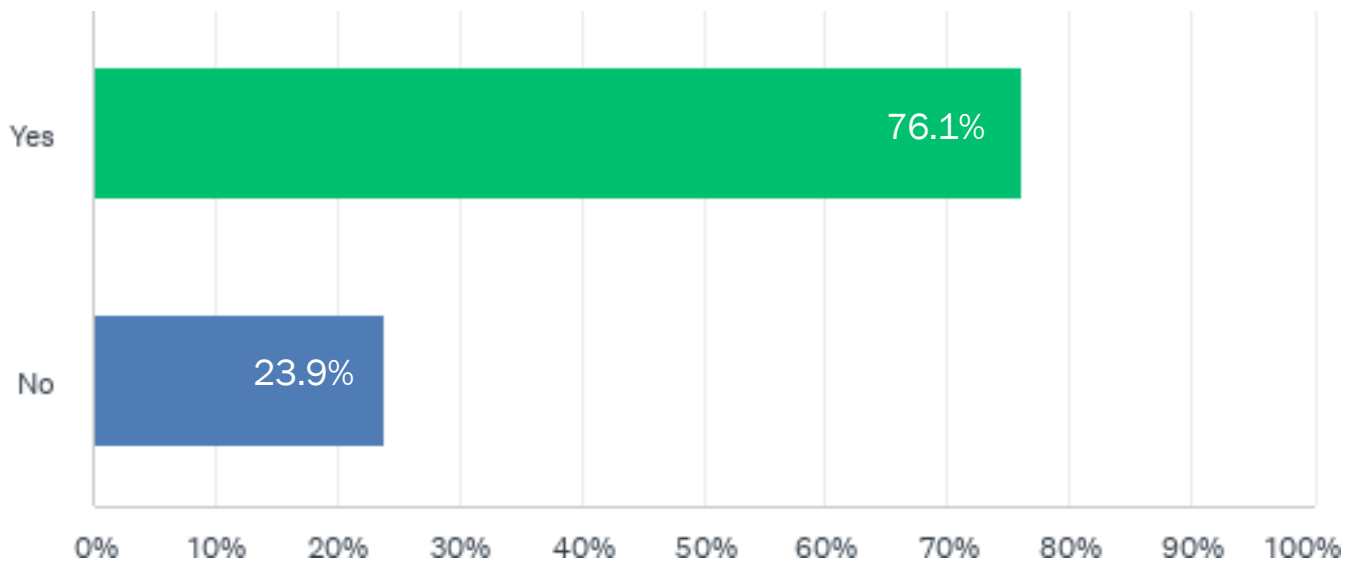
Question 10

CONSIDERING THE EQUESTRIAN FOCUSED MASTER PLAN,
PLEASE RANK THE BELOW AMENITIES IN ORDER OF PRIORITY OF
INVESTMENT: [*ESTIMATED COSTS INCLUDED FOR REFERENCE.]



Question 11

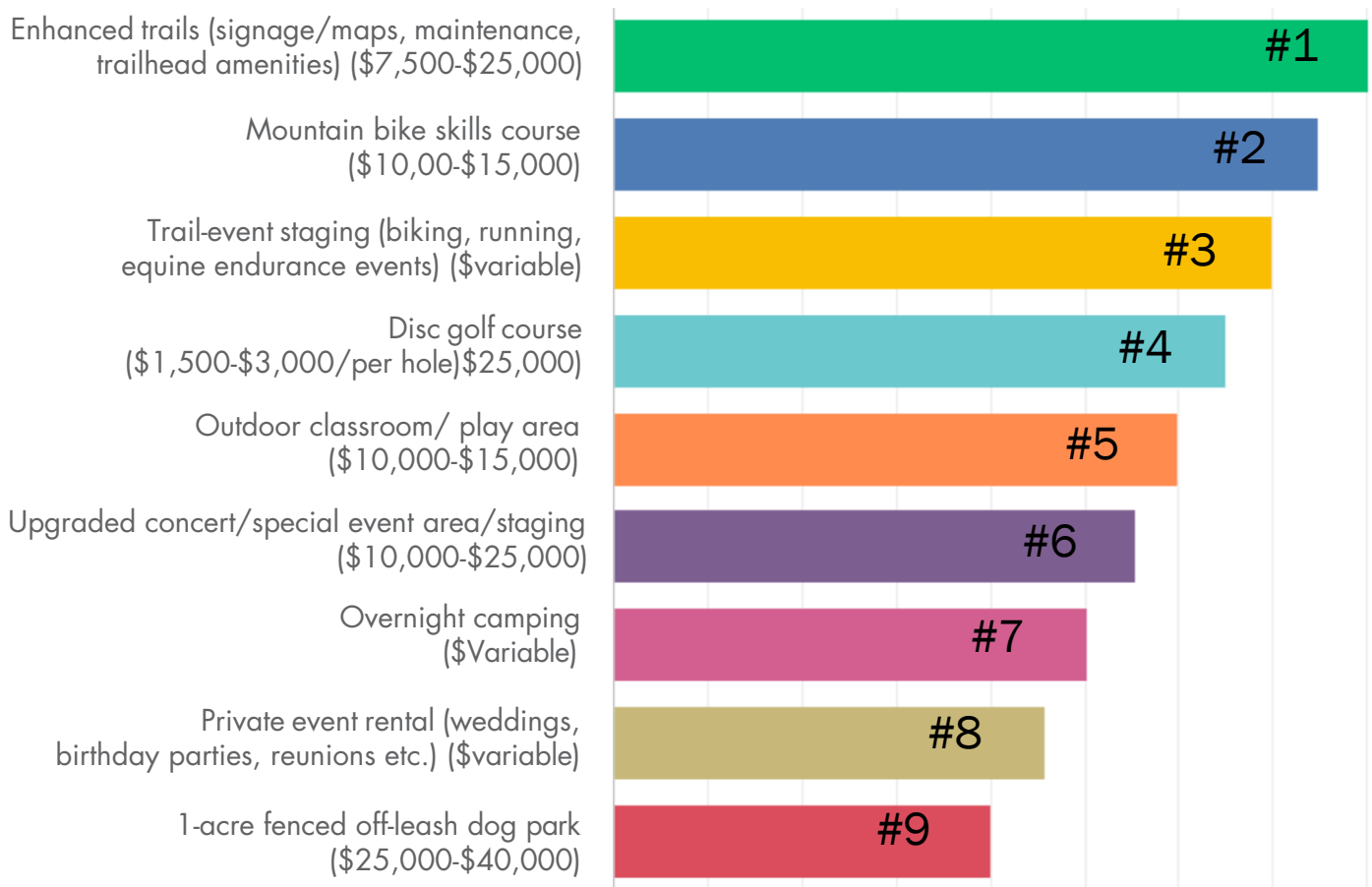
DO YOU BELIEVE THE RODEO GROUNDS MASTER PLAN SHOULD BE MULTI-USE FOCUSED AND/OR CONSIDER SOME ADDITIONAL NON-EQUINE USES?



Question 12

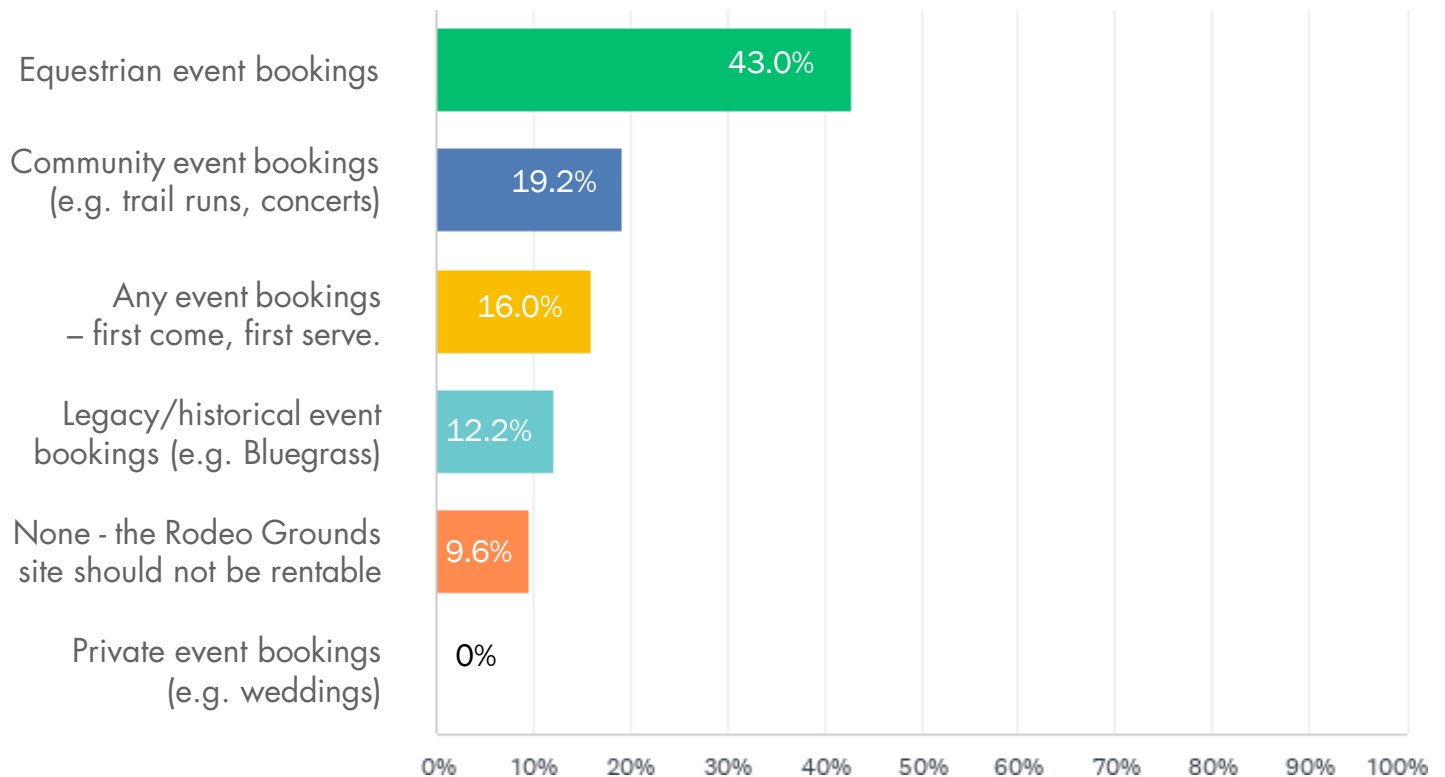
CONSIDERING THE MULTI-USE FOCUSED MASTER PLAN, PLEASE RANK THE BELOW AMENITIES IN ORDER OF PRIORITY OF INVESTMENT:

[*ESTIMATED COSTS HAVE BEEN INCLUDED FOR REFERENCE.]



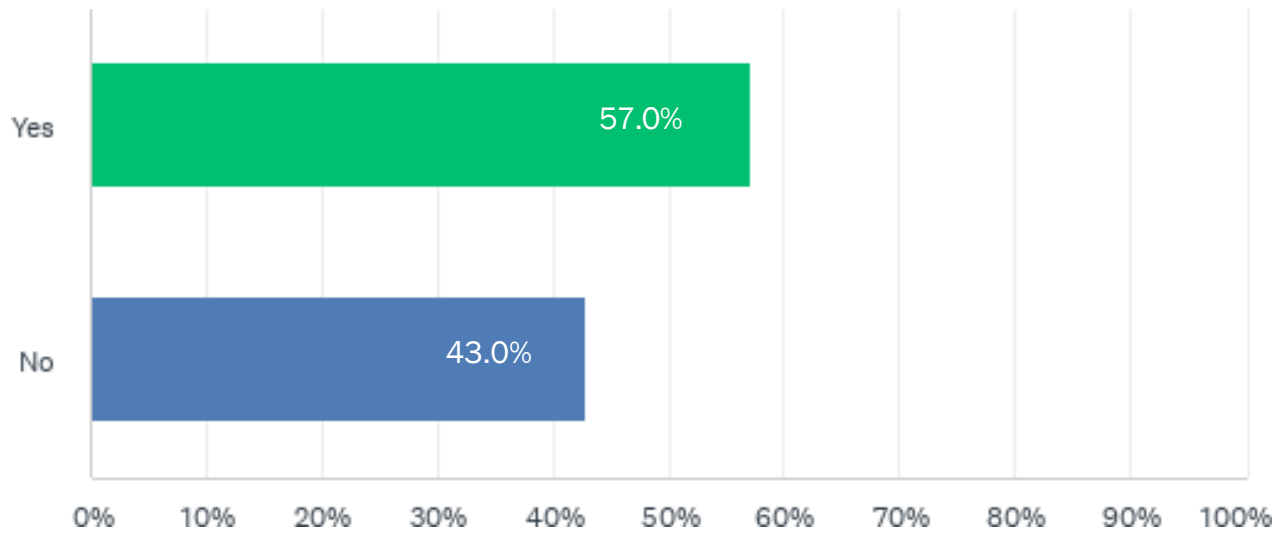
Question 13

SHOULD SITE-RENTAL AT THE RODEO GROUNDS PRIORITIZE... ?:



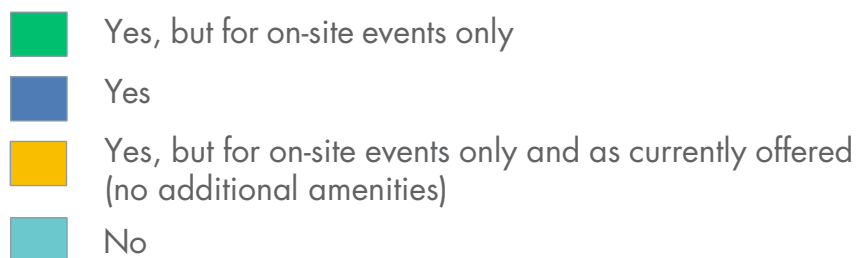
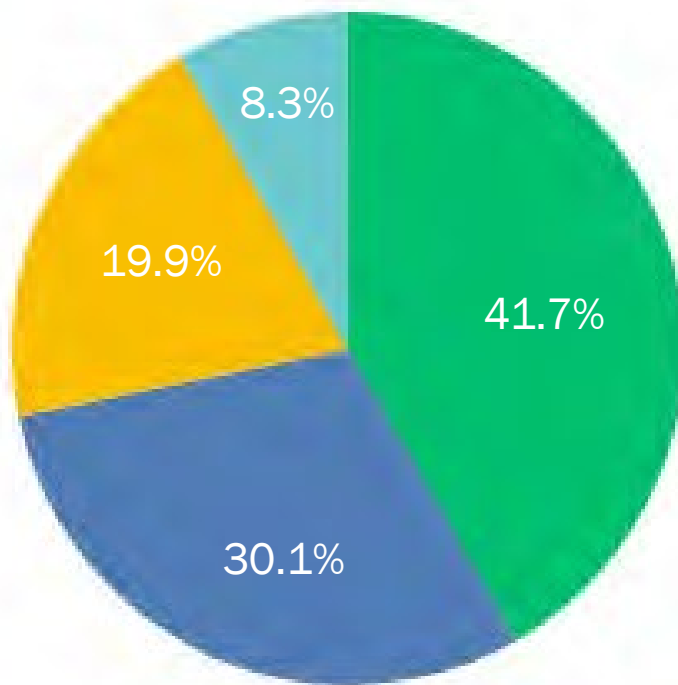
Question 14

SHOULD A FENCED DOG-PARK BE INCLUDED IN THE FINAL MASTER PLAN FOR THE RODEO GROUNDS SITE?



Question 15

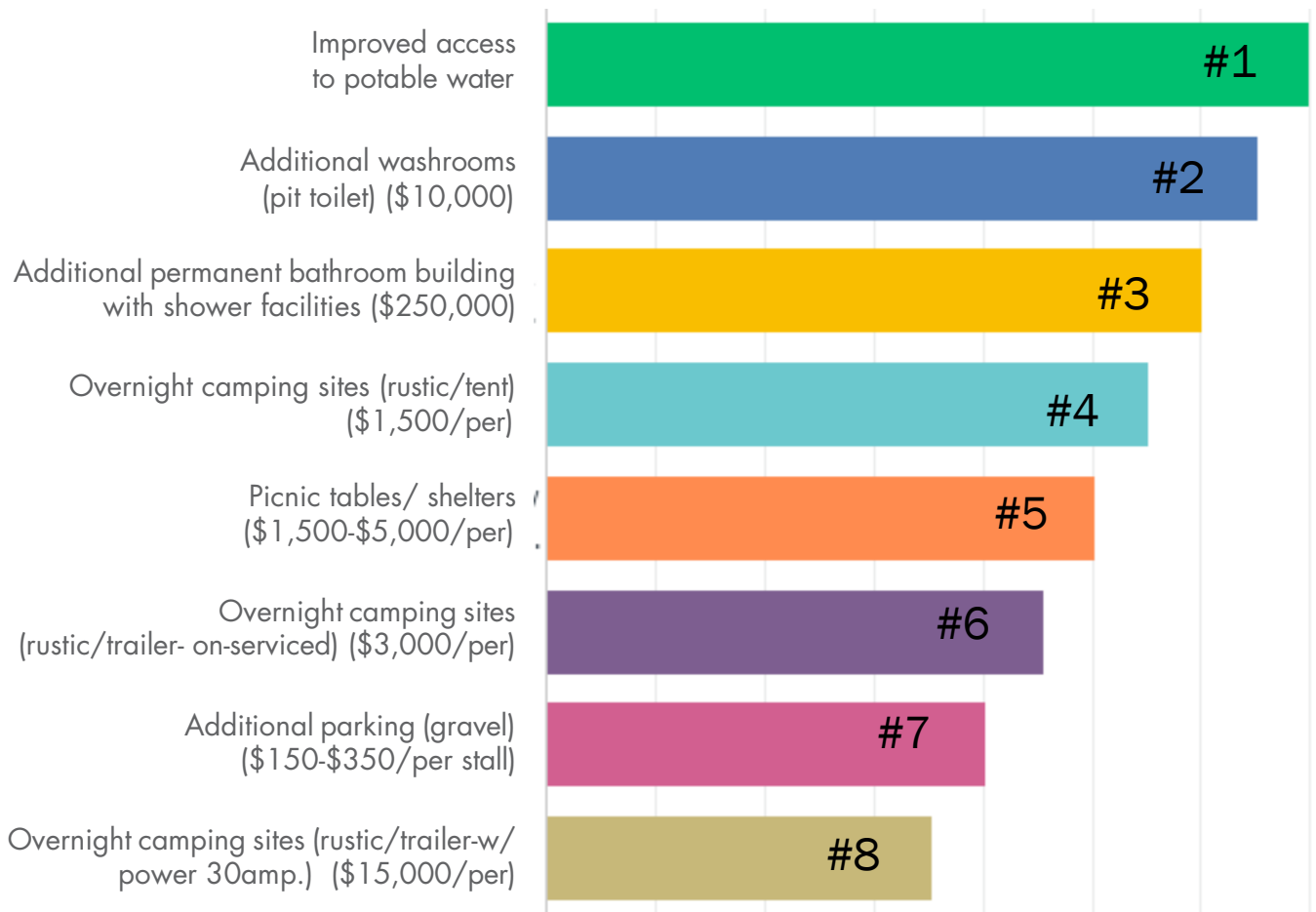
SHOULD DESIGNATED CAMPING SITES BE INCLUDED IN THE FINAL MASTER PLAN OF THE RODEO GROUNDS SITE?



Question 16

PLEASE RANK THE BELOW CAMPING AMENITIES IN ORDER OF PRIORITY OF INVESTMENT:

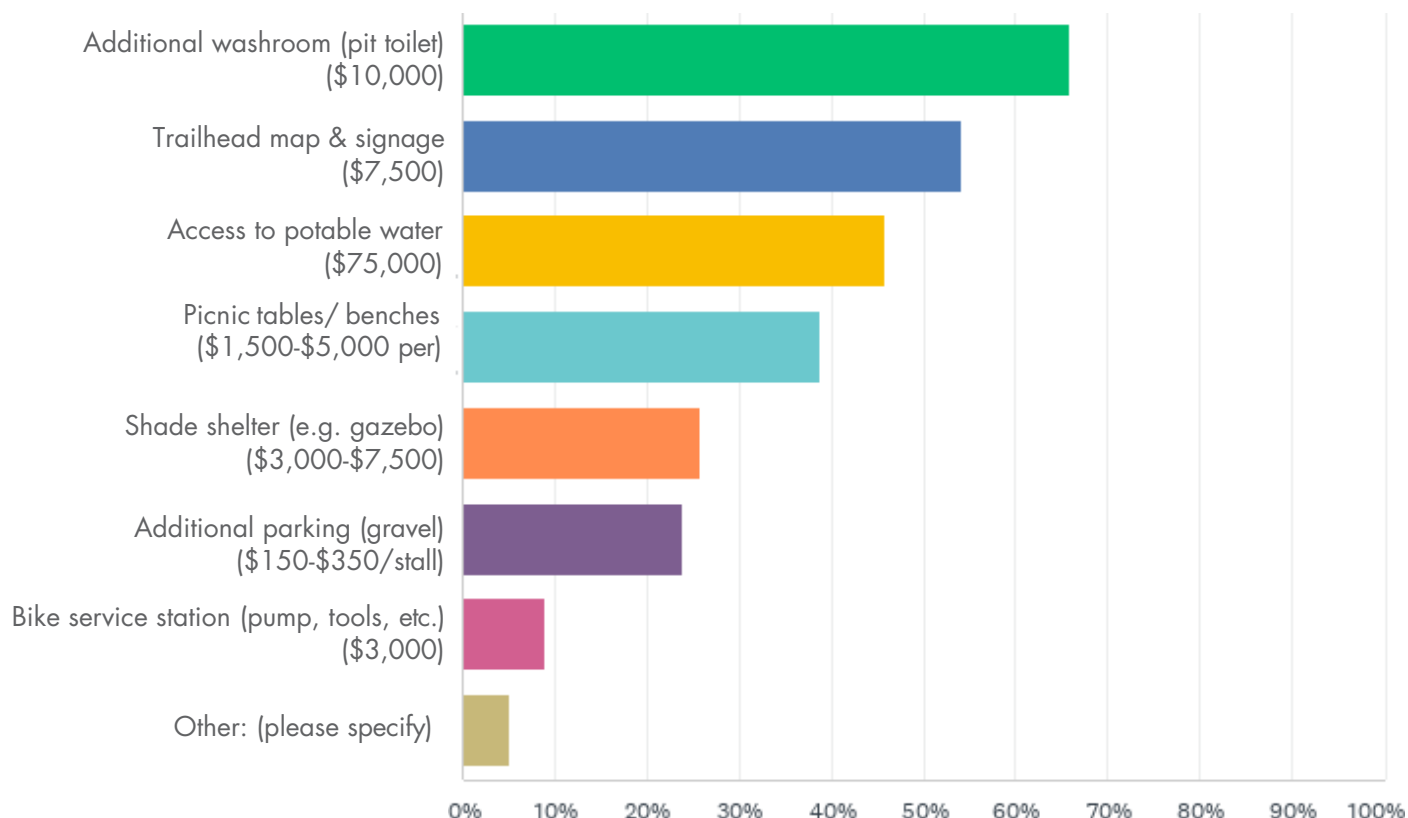
[*ESTIMATED COSTS HAVE BEEN INCLUDED FOR REFERENCE.]



Question 17

WHAT AMENITIES WOULD YOU WISH TO SEE AS PART OF A TRANS-CANADA TRAILHEAD IMPROVEMENT? (CHOOSE UP TO 3)

[*ESTIMATED COSTS HAVE BEEN INCLUDED FOR REFERENCE.]

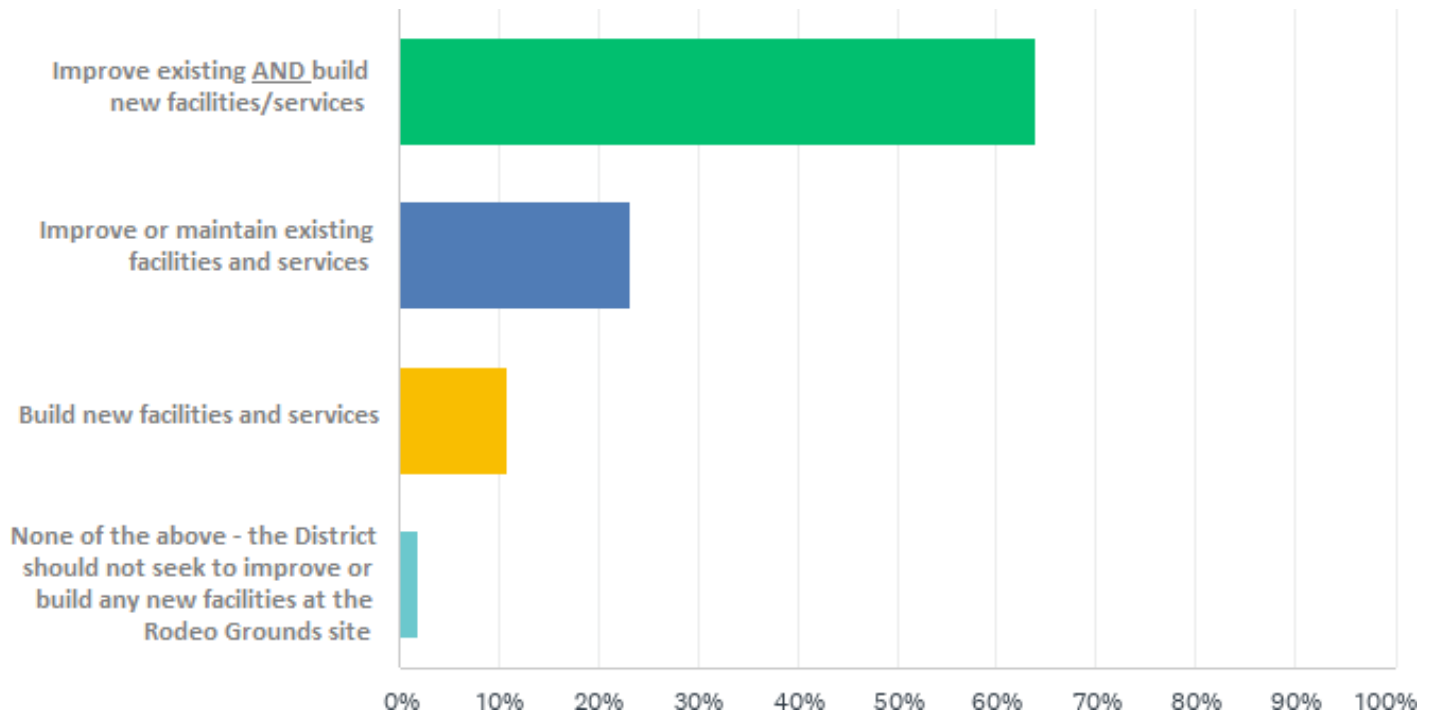


Top responses under the choice of “Other” include:

- Education signage regarding how to approach/pass horses
- Signage designating bike vs. horse trails (to avoid risk of collision)
- Gates to block access by motorized vehicles.
- Garbage cans

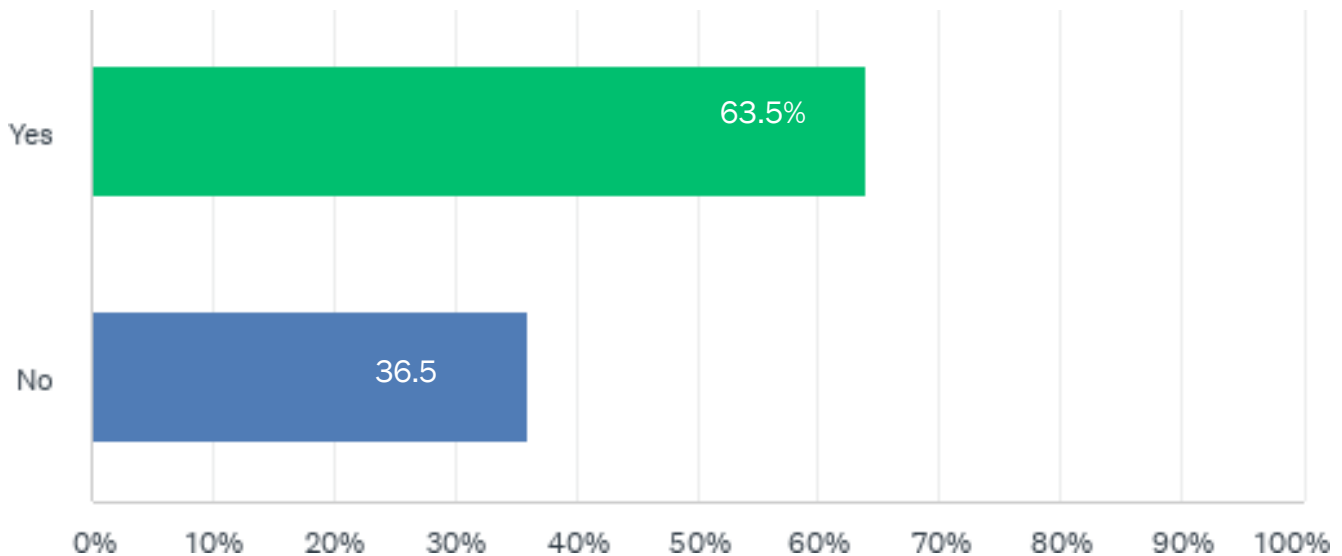
Question 18

IN THE NEXT 5-YEARS AT THE SUMMERLAND RODEO GROUNDS, THE DISTRICT SHOULD...:



Question 19

WOULD YOU SUPPORT THE DISTRICT SEEKING A PRIVATE OR CORPORATE PARTNERSHIP TO FUND AND MAINTAIN AMENITY/ INFRASTRUCTURE DEVELOPMENT AND MANAGE OPERATIONS AT THE RODEO GROUNDS SITE, SUCH AS A P3-PARTNERSHIP?



Question 20

DO YOU HAVE ANY FINAL COMMENTS OR SUGGESTIONS THAT YOU WOULD LIKE TO CONTRIBUTE?

-
- Would love to share with others, but not everyone is responsible with their dogs around horses.
-
- Conflicts between horses and other user groups are difficult. Signage of property is not useful, but decreasing conflicts through design is the most effective.
-
- A dog park and/or disc golf may be dangerous when it's near the horses.
-
- Keep the good faith of the donations made to the rodeo grounds, keep it rustic and equestrian based... essential upgrades plus a few bonuses would be great. The horse industry needs this space!
-
- Keeping the current facility & making it safe to use (footing etc.) is more important than adding on, but ideally improving the equestrian facility all around will bring so much to the grounds & can still be utilized by others. How can you have horses and disc golf? Or dogs? It's bad enough when a random dog off leash runs up (and I have dogs too) but when u have an off-leash park more dogs will come & people DO NOT respect the on-leash rule until the gated area.
-
- Thanks for the opportunity to participate.
-
- Keep spaces open to the public as much as possible. Disc golf courses promote local tourism.
-
- Horses and horse people need a place.
-
- Keep the SRG an equestrian facility.
-
- Thank you!
-
- Consider the high risk of involving other activities around horses. Improve equestrian facilities and more equestrian events will be able to be produced and the area will be used. Equestrian events can be very profitable and are very beneficial to the users and the community.
-
- Fairness for everyone. Not just equestrian. We all should be able to access the rodeo grounds as it is through our tax dollars. Summerland should be a fair, all-inclusive community. Bidding on bring caretakers for everyone just not word of mouth. Caretakers should have to maintain and pay rent to the district. If they are not paying rent, it should be an open bid.
-
- This survey design does not allow for options to provide meaningful feedback. Drop downs providing # priorities do not give an accurate picture. To consider some multi-use options (bike skills, disc golf, dog park, music etc.) need to be able to look at community facilities as a whole and at Conkle Mountain as part of the picture.
-

-
- No one can afford higher taxes.
-
- I didn't answer Q19 because I'm not sure what that looks like. I believe Summerland would be wise to work in tandem with Osoyoos and Princeton to develop equine activities.
-
- Please keep the grounds as a safe/free place for equestrians to park trailers and ride the marked trails.
-
- Support can come from equine Canada, horse consul BC, and even a fund easing event.
-
- It's important for the community that there is a long-term vision for this area, not a short-term vision for just one group. Everyone in Summerland should have access to this beautiful area and be able to participate in diverse activities. As Summerland becomes more densified, this natural area will become a community gem.
-
- If this turns into a multi-use facility the equestrian community is very likely to be pushed out like in many different places in the past. Many people come to use the area for their horses and it's one of the very limited number of places we already have to access.
-
- With so few equestrian facilities and showgrounds it's nice to see the district consider a masterplan for equestrian sports.
-
- I hope the results of this process create a roadmap for enhancing the current operations of the Summerland Rodeo Grounds and avoid creating unattainable goals for this facility. Countless weddings, community events, equestrian activities, family events, and sporting events take advantage of the rustic facility offered at this site. Improving and maintaining the resources that already exist combined with forward thinking on how to enhance the community use should be the focus of this master plan. The site should be enjoyed by all, not just an exclusive group of community residents.
-
- Please acknowledge the work and money the equestrian community has put into the Grounds historically. Keep the bikes and disc golf away - they have many other places to go.
-
- Any improvements would be welcome.
-
- Consider the possibility of getting community groups to sponsor/ build different areas of the multi-use concept. Great people make great places.
-
- Keep the natural aspects as they are. It's a beautiful piece of land that is easily accessible for many people that wouldn't normally be able to get out in nature.
-
- Find out usership from surrounding areas.
-
- I hope this amazing opportunity will be implemented well and be inclusive of all Summerland residents, not just equestrians.
-
- The worst thing to do is nothing, as it will only result in further deterioration.
-

▪ Regarding the camping portion of the survey. I only support camping if it is specifically equestrian camping. Not open to the public regular camping. I would also only support a P3 partnership if the Rodeo Grounds as a whole remains exclusively equine use only. I also STRONGLY urge that realistic estimate numbers be used for all portions of either Plan 1 or 2. The current numbers shown in this survey do not come close to accurately costing out specific enhancements which is presenting a false sense of what will be provided in the Master Plan compared to what will actually be built. I feel the this second presentation lacked any market research into facility costs or even a comparison to other existing facilities within the province. Summerland has a unique opportunity to become a DESTINATION EQUESTRIAN FACILITY that could generate a steady income for the district.

▪ Improve what needs to be improved, maintain the rest.

▪ I like the idea of permanent year-round washrooms. I don't like the idea of showers. The showers would be hard to keep. And safety concerns. I like the idea of P3 to pay for upgrades and upkeep. I think the grounds should be utilized by as many people as possible. A playground with all the swings tunnel types of activity. For kids. The concession stand should be open as much as possible. Good money can be made and a great place to get a cup of coffee or a pop hotdog for the kids. If there is an event it should be open.

▪ The Rodeo grounds will still be used just as much for Rodeo and equestrian events with a multi-use facility therefore I'd suggest multi-use is the way to go and might actually get more people interested in Rodeo/equestrian events funding a strong cycle.

▪ This area is a gem and needs to be saved for the equestrian and trail users community. Very family friendly healthy activities that can be a real benefit to the community.

▪ Keep things Simple and uncomplicated with the sheer Beauty of the Summerland Rodeo Grounds and Area in mind. Thanks

▪ Keep the park equestrian focused and SAFE. Generate more equestrian use and tourism by offering equine camping, and generate income through use of the covered arena over the winter (drop in equestrian riding and compatible use rentals)

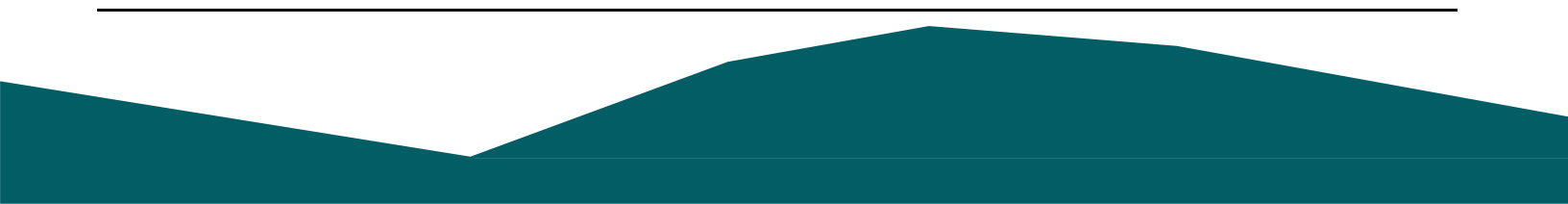
▪ Enhancing the area would be a very big draw to the community and tourists.

▪ Summerland and surrounding areas have a thriving equestrian community. Let's support it!

▪ A large area with lots of potential to benefit many people.

▪ Disc decent disc golf course will bring dozens of people to the grounds every day. It's a no brainer for a place like the rodeo grounds. With the low cost of entry and lots of fun for the whole family, Summerland will love disc golf.

▪ Equestrian usage should be #1. A fenced dog park does not need to be an acre but is sorely needed in Summerland.



▪ Thank you for the opportunity to voice our dreams and desires for the future of the rodeo ground's master plan. I do hope to see a disc golf course incorporated into the design plan and hope to see a harmonious equestrian and disc golf use of this amazing space. What a great recreational opportunity for Summerland and Okanagan residents and visitors to our region alike. If you are interested in seeing a successful example of an equestrian and disc golf multi-use site, please see the Campbell valley regional park in Langley. They have hosted disc golf tournaments on their equestrian sites, and it is a good example of the two co-existing in the same space. Looking forward to hearing about the next phase of the rodeo ground plans!

▪ A disc golf course will bring new people to the area on a daily basis. Those people will support local businesses.

▪ Both plans come with a hefty price tag and in order to justify this expenditure, it makes sense to make the improvements that would benefit the largest number of residents; that's why I support the multi-use model.

▪ The district budgeted \$50,000 to just get this plan done. In the future, ever consider approaching user groups with a grant opportunity where THEY can take the \$50,000 and see how far they can leverage it? Right now, we have nothing but paper to show for our \$50,000. If the Equestrian/Rodeo grounds groups were asked to submit how they would invest \$50,000, I bet, we would actually be getting a lot more for our tax dollars out of it!

▪ Hope it happens, for the good of all the community.

▪ Please support the growing support of disc golf. Family friendly sport for everyone.

▪ City should focus on spending time on streets and sidewalks. Rodeo grounds are a distraction from what is really needed.

▪ Think about the whole community.

▪ A disc golf course would be damaging to this sensitive area. A 1-acre dog park is ridiculous in its size. I am vehemently opposed to both of these plans, and I am hoping that neither will come to fruition. Please leave the Rodeo Grounds as they have been for decades. Disc golf and dog parks have no place there.

▪ If the district brought in a third party to maintain the site, I'm wondering how you would charge for the use of the property? I think it would be great for maintenance to be hired out if there was a system in place to charge the users, a yearly membership of some sort.

▪ Having multi-use options at the Rodeo Grounds in my opinion would bring more to the community as well as the surrounding area.

▪ A championship disc golf course would be an excellent addition to Summerland!!! Bringing in players from everywhere!!!

- If the district uses a different company to manage the facility, then it needs to be a local to Summerland company, that knows and respects the grounds and the clubs that want to use it. Out of town companies will not as they are business and neutral, it's a job to them, not part of the Summerland culture of being a small town that really wants the community to be happy.
-
- The reason that I chose the equine only concept is only because that there is a reasonable expectation of booking challenges/conflicts with a multipurpose facility of this type. Historically, the horse shows at the SRG have had as many as 30 to 40 trucks and trailers in attendance. It can be very cramped and if an event was going on like that at the new facility, the entire grounds would need to be used exclusively for the equine event. That might not be welcomed by the MTB, Disc golf or dog park users? I honestly think the actual spacing of the different activities is safe and would work with horses and other users, it would just be the parking and overnight areas that would be at a premium for non-equine users. Could solar panels be considered for the SRG? The higher ground area might be a prime location for panels that would power the site and provide additional power for the extra lighting, water treatment system and the caretaker's needs as well.
-
- The questions give only so many choices. I am for Multi use to a point and I believe that the funds should be spent wisely. I also believe that the people that are proposing such plans should have experience in all aspects of sports proposed, as both plan A and B don't mix.
-
- More disc golf please, this sport is growing like pickleball.
-
- Please approve a disc golf course. This land and the neighboring crown land has the potential for a destination disc golf course that could bring visitors to Summerland. Many Summerland residents would start disc golfing if they had a local course to play on. This is a good site for a disc golf course.
-
- Dogs. I do not support a fenced off leash dog area, as these tend to favor only certain types of dogs/owners. I prefer allowing the grounds and trails to be dog friendly when appropriate for on-leash (or possibly off leash under control) walking - limiting dog access during equestrian events makes sense. There are many people participating in a wide range of dog training and competitions in the BC interior with very few venues that allow trainers or clubs to host training or events - examples include K9 Frisbee competitions, scent work / tracking, agility, various pulling sports (canicross, bikejoring). It would be great if these grounds were available for trainers and clubs to use to host this kind of event as well. Dog competitors are often asked to come out and provide entertaining demonstrations for community festivals and events but are rarely supported with access to fields and facilities for the training required to develop these skills.
-
- If improvements are made, they should be in conjunct with improving Prairie Valley Road. More traffic with degrade that road faster.
-

-
- Disc golf is a family friendly outdoor activity. Having a proper course would bring people from out of town that would spend money in our town.
-
- I love the wide range of activities that would be offered with a multi-use focused model. The Disc Golf Course would be an amazing use of the space, and shared along with the Mountain Bike Park and upgraded trails would bring many new visitors to the Rodeo Grounds. Camping, washrooms, and covered/uncovered table and bench areas will also help with hosting events for the various stakeholder groups.
-
- Focus on improving existing facilities and replacing those that are condemned. Focus on making it a top-notch equestrian center for the Okanagan. This has so much potential to tap into the economic opportunity that exists in the equestrian community. But equestrians do not want to have to fight for parking and deal with flying frisbees, cyclists who do not understand how to approach horses, and dogs who've escaped their owners. Start with an equestrian focus and then wait to start developing the site for anything based on what transpires after you improve facilities for equestrians. If you build it, they will come!
-
- Disc golf is a growing sport and attracts many disc golf tourists that visit different courses. It has a very low environmental impact, it is inclusive, and fun to play. Easy upkeep and maintenance. Also requires no water.
-
- Very exciting the attention and improvement this facility is finally getting! I grew up riding here.
-
- The land and rodeo grounds should be accessible to all taxpayers not just ones who can afford to have horses. They don't need their hobby subsidized.
-
- No dog parks.
-
- You need to explain better what costs would entail if a private or corporate company maintains site before asking this question.
-
- Summerland would benefit from multiuse for this area. Disc golf would be super and would put Summerland on the map if done well. Less erosion, zero water needed and one of the fastest growing sports in the world. Let's make this happen.
-
- I would be very disappointed if Disc golf wasn't a part of the plan. There is a serious lack of opportunity in the area for one of the fastest-growing sports. It would bring tourists and locals out. The number of recreation hours that come from disc golf is incredible! When you compare that to the cost of building a course, it just makes sense. Most communities (including Kelowna) don't have the land to be able to build a safe and exciting course. The number of courses in the Okanagan is astonishingly low, but Summerland has the perfect opportunity to establish itself as THE disc golf destination in the area!
-
- A new announcement this year is the Canadian disc golf pro tour. We need more top tier courses.
-

▪ A multi-use facility would do wonders for the people in the area.

▪ I would only support the partnership as per the last question if it prioritized equestrian uses.

Number 1: I think it is important for our equestrian community. Number 2: When the grounds were given to the city many years ago it was under the understanding that the grounds would always remain available to the equestrian community.

This facility has a huge historic story as well that many people in Summerland may not be aware of. I know that the SRGEDC (Summerland Rodeo Grounds Equine Development Committee) has access to photo albums and write-ups on the history of this facility. Everything on this site was built from the blood, sweat and tears of equestrian community members.

I think that many people brush off the equestrian community in Summerland and really don't realize how robust it is and how much it brings to the economy. There are many horse owners in Summerland and many that also earn a living from the Equestrian community. Hay sales, farrier, boarding, equine therapy etc. We bring a lot to the area and are truly a large group when you sit down and start looking at the numbers.

I also think this facility has the ability to bring in a lot of revenue via equestrian events with some upgrades to the grounds and amenities. We are lacking facilities in BC, especially in the Okanagan. We have a great opportunity here with great this facility. The equestrian community in BC is also large, especially the competitive community. Whether it is rodeo, eventing, competitive trail or even just trail riding, there are a lot of people in BC travelling in their big rigs every weekend, all over BC. By having a facility with the ability to host some of these events, we could be bringing in a lot to our local economy (fuel sales, hotel, restaurant, grocery etc.).

▪ Wish every municipality had a gem like this.

▪ Need to have rodeos back in town! If You build it, they will come.

▪ Please continue to work with the equine groups to ensure their needs are being met. Don't try to please so many different interest groups that conflict becomes inevitable, and no one is happy with the end result.

▪ If spending \$75k for potable water, what about public flush toilets at the trail head?

▪ Build a disc golf course!

▪ Disc golf!

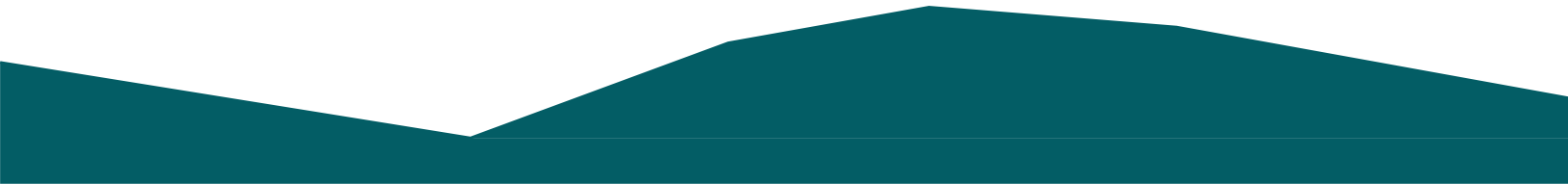
▪ Would be good to have free options for us to use on the grounds. hiking, disc golf, biking, just free to use and easy to maintain things.

▪ These are the most promising concepts I've seen thus far, and I hope once the council gets involved, they do the right thing to listen to the community and especially equestrians, who have used and loved this facility over many years. We all want the rodeo grounds to continue whether it be equine based or multi use, at the end of the day we all just want the facility to be maintained and brought back to a usable status. Thank you.

-
- The developed rings, facilities and structures at the rodeo grounds were done by volunteers (and paid for by volunteers and fundraisers) for the equine community. The equine community should be consulted and have first choice regarding what should take place at this site. It could be a real draw for Summerland. Let the people who know how to develop an equine event facility help to plan. The proximity to the train is perfect. Could it not have a historical park theme? A mini western theme? (or English). It is rural. It is seasonal. The train robberies and plays are already so popular. Could the two themes be blended? Don't push the equine community out.
-

- A. Disc Golf - please refer to a Vancouver CBC article from Feb 20, 2023, entitled "Long-running dispute between North Vancouver residents and disc golf players reaches city council". Also, there are numerous other sources available for research that point to the fact that disc golf is not a benign sport in its impact on the environment. It can cause soil compaction, litter from players, damage to trees & foliage from the discs hitting them, and other damage to sensitive areas from players going off course (bushwhacking, in their words) to find errant discs, as well as potential injuries from flying discs to other hikers or cyclists using the area. Mt. Conkle area is not the right place to put this.

B. Rodeo Grounds - I like the idea of the rodeo grounds being upgraded so that they can be fully utilized by horse riders and spectators. Summer horse camps, rodeo, dressage, & indoor riding ring would bring in a lot of people that own and/or love horses and they usually have money to spend in the community. Also, the rodeo ring & facilities could be used for farm fairs showcasing Okanagan livestock such as cattle, sheep, goats etc. as well as horses. Build on the history of Summerland as a rural farming community and I think you could garner community donations to help with creating a really top-notch horse/farm/agricultural gathering space.



APPENDIX 7

S.R.G.E.D COMMITTEE FEEDBACK LETTER



Public Consultation – Summerland Rodeo Grounds Master Plan – Phase II

March 15, 2023

Please accept this submission by the Summerland Rodeo Grounds Equine Development Committee to reflect the collective interests of the equestrian community regarding the Concept Plans presented in Phase II of the Public Consultation process.

Public equestrian related venues around the province are becoming fewer in number and increasingly inaccessible due to development and restrictions on public land. In the Southern Interior, trail access and many equestrian spaces have been lost due to redevelopment of the property and attempts to try to accommodate too many incompatible multi-uses in one location. This erosion of equestrian accessibility has been seen at the Penticton Arena, Three Blind Mice, Campbell Mountain, and the Osoyoos Eventing Venue to name a few.

This trend is not due to a lack of demand for equestrian oriented spaces. In fact, Horse Council BC supports that the demand for such access is growing in the Interior, as it shifts from the Lower Mainland. The excellent response to the public consultation in support of the equestrian uses of the facility substantiates this demand. As evidenced in our previous submission, regarding the Economic Impact of equestrian business, equestrian users are a key economic driver in this town and draw from a much broader trading area as horse enthusiasts already travel from all over the province to attend events.

Mayor Holmes was correct in his comments at the Feb 13th Council meeting that there is an opportunity for Summerland to become unique and offer top class equestrian facilities. The SRGEDC therefore supports the revitalization of the Rodeo Grounds and is keen to be involved with the development process. We should not be in a rush to come up with a design plan that is not well thought out with an accurate review of the site in terms of measurements, topography, and costs. A properly planned and developed venue could attract even more shows, clinics, events, horse camping, day use etc.

Ideally through the Master Planning process, we would determine the priorities for future development of the site and then establish an expert Advisory Committee that would research and/or provide input on design aspects and potential costing such as stabling, covered arenas, round pen as we plan to move forward.

As a primary stakeholder group, our priorities are as follows:

1. To upgrade and enhance the existing infrastructure which includes repairs to the physical assets (clubhouse, fencing, gates, bleachers etc.), access to water, septic and electrical and upgrade the equestrian amenities (arena footing, stabling etc.)
2. That a booking policy was created that allows equestrian users to have primary access to the calendar to schedule events early in the year. In the past, there has not been a conflict with other non-equestrian historical uses (Bluegrass/Summerland Sweets race etc.) but as new alternate user events have emerged access is becoming increasingly limited for equestrian groups.
3. That equestrian access to Conkle Mountain Park for the purposes of trail riding is supported. Although the Master Plan is related to the SRG site proper, Conkle Mountain park is also an important aspect of equestrian use overall. There are established traffic flows from the SRG Equestrian area parking on existing roadways/trails which minimize congestion and interface with other park users (walkers/runners/bikes)
4. Acknowledge that the SRG already accommodates a range of multi-users (bikers, hikers, dog walkers, runners) that have managed for the most part to interact without conflict. Attempting to add a whole variety of uses to this area (children's playground, dog park, paved parking, bike skills park, disc golf, music venue, tent camping) has the potential to damage the rustic nature, destroy the natural habitat, impact safety, and invite user conflict.

Equestrian Related Feedback on Phase II Concept A (Letters correspond to key)

- A. Site Signage** - we support site signage to identify the facility and assist users in accessing trails and roadways, understand trail etiquette and help to identify buildings and guidelines for use. We would like the option of installing our kiosk sign in an area near the arena to facilitate the posting of information.
- D. Caretakers Residence** – We feel the existing location is ideal to provide maximum site security as the caretakers on the hill can see activities near the TCT trailhead and in the arenas from that location. There is concern that the proposed site near the trailhead would leave much of the SRG vulnerable as it would be hidden from view of the caretakers. Wildfire threats are a particular concern without someone on site overseeing campers, campfires, garbage and other potentially dangerous activities.
- F & G. Equine Camping (20 campsites) and washroom area** – We are supportive of promoting equestrian camping at the site as this is a growing demand area and could be a huge tourist draw. However, the proposed location and potential design are less than ideal as presented. Key points of concern are the lack of shade in this area, and the proposed pull through RV sites and “hitching posts” would not be suitable horse accommodation. There could be options for horse camping sites in other areas of the property which would allow for some more private pads, proximity to stabling or corrals, and access to existing water supplies/manure bin etc.

H. Existing Clubhouse refurbished, and storage shed – we support this option. New storage would be welcome.

I. New Cookshack – we support the need for a cookshack. One proposal would be to build a roof structure (like Peach Orchard Spirit Square) with one enclosed section that could contain cooking amenities/refrigeration and an open covered area for seating/picnic tables.

K. New Horse Stable/Barn Storage – we would welcome additional covered stabling, however, disagree with this proposed location. It appears to span across the main in-gate to the arena which would be impractical and pose a potential safety risk to horses and riders. Also, proximity to the entry roadway/traditional parking would present congestion and further vehicular safety concerns. New stabling could be accommodated alongside the existing stabling or in the area designated as R.

L & M. Existing Grandstand – we support retaining a grandstand and if not cost prohibitive adding some shaded spectator seating in the location of M.

N. Trailer Parking – This existing trailer parking and turnaround area is ideally situated for horse trailer use during events. We submit that there are NO risks to the environmentally sensitive area or erosion of banks to Trout Creek as stated by the Consultant at the open house. There is a drop off surrounding this flat area and logs have been placed to form a boundary; these logs could be replaced if required. In over 40 years of use, there has been no evidence of any issues with this temporary use of the area.

O. Picnic Shelter – Hard to tell if this is proposed for the hill above the parking lot – or in the parking lot?

P. Roof Over Existing Arena – We would support this concept if affordable as it would allow for year- round use of the venue by user groups – winter shelter and sun protection in the summer.

Q. Circular Riding Ring – A “round pen” as known in equestrian terminology would be a great asset to the site. It is unclear whether the identified location would support such a structure. Typical dimensions are 50-60 ft or 15-18 meters in diameter. Ideally this is in proximity to where trailers can access the arena – it is typically used to work a young or fresh horse prior to riding.

R. Horse Shelter/Storage – this would be an ideal location for such additional facilities.

S. Outdoor Concert Event – If the vision is to have regular and ongoing music events at this location consideration would have to be given to traffic flows to access the site. The environmental impact would be considerable and aspects such as erosion, noise pollution, and fire risk would be a huge consideration. Equestrian and music events could not occur simultaneously, thereby limiting access for equestrian groups. Limiting this impact to occasional music events such as the annual Bluegrass festival would be fine.

T. New Trails to connect with existing network – If the traditional access to Conkle Mountain Park (along the roadway through area S to the junction at U) was no longer accessible, an alternate route would need to be established. It is unclear whether T would provide flat safe access or incorporate some steep hills. Although some equestrians are keen to tackling challenging terrain,

the typical “pleasure rider” who may trailer or camp at the site would like access where site lines and vertical terrain is more accommodating.

U. Improved Existing Trails – there are really no issues at this juncture with trail footing conditions or signage.

Other – The Revised Concept Plan A no longer shows the item termed as “Endurance Track”. That proposed location would be ideal for the development of a small cross country jump course (logs and small features up and down hills) and a Mountain Trail Course (other features like wooden bridges/gates etc. This would be a huge draw – along with campsites for equestrians to travel to from around the province.

Equestrian Related Feedback on Phase II Concept B

The primary concerns are as follows:

- Concept B does not make any accommodations for Equestrian access from the Rodeo Grounds arenas to Conkle Mountain park as the current road access through area Q would not be accessible and conflicting uses at T/R/S/U would impact safety for access.
- Trying to accommodate too many user groups/amenities (playground, dog park, disc golf, music venue, tenting, bike skills) for the space. There should be recognition that there are already a large number of historical user groups (hikers, runners, bikers, dog walkers, equestrians) for this area. The result of inserting too many incompatible facilities into a limited space is unlikely to please any user group and has the potential to create conflicts.
- The proposed location for Disc Golf Hole # 2 and # 3 and the Bike Skills Park intersect some of the more high-volume areas of the trail network (T in Concept B and U in Concept A.) Many Trails intersect in this area (base of the sand hill). This interface could cause significant safety issues for equestrian and hikers alike.
- The Disc Golf proposals have implications for the broader Conkle Mountain Park which was not the subject of this master planning process. The proposed 15 additional holes outside of the park appear to follow the main roadway/trail network that is accessed by all users alike and crosses through some environmentally sensitive areas where new pathways would be developed. This is currently being circulated as a concern on social media by other user groups.

We support the development of additional amenities for the Community such as an 18-hole disc golf course and Bike Skills park and recognize the recreational value and opportunity that they would bring to drawing people to use parks. We are aware, however, that the Bike Skills Park was discussed as part of another planning process (Eco-Village/Solar Panel Project to replace the kids pump track) but was not included in the final concept plans. Alternately, they may be better locations on either Conkle Mountain, or other District owned lands given considerations such as proximity to town, safety, environmental damage, likelihood of interface with other user groups etc.

The SRGEDC would be more than happy to meet with other stakeholders to work together on developing a reasonable plan which supports all interests.

Historical Contributions to the Summerland Rodeo Grounds (Summerland Trail Riders/SRGEDC)

Summerland Trail Riders

The Summerland Rodeo Grounds (SRG) was built in the late 1960's/early 1970's through the dedication and hard work of community volunteers who not only fundraised dollars to establish the infrastructure, but also donated countless hours of volunteer time and personal equipment to clear the land and build the structures we know of today. The Summerland Trail Riders operated the site over this period through an agreement with the District of Summerland (DoS).

Their fundraising efforts, including the popular Summerland Rodeo, started in 1980 and ran for 10 years. The revenue from these events was used to add to the SRG infrastructure and fund important community causes. When the Trail Riders transferred responsibilities for management of the site back to the DoS around 1990 it was with the provision that equestrian users would continue to have access to the facility as a priority use.

Summerland Rodeo Grounds Equestrian Development Committee

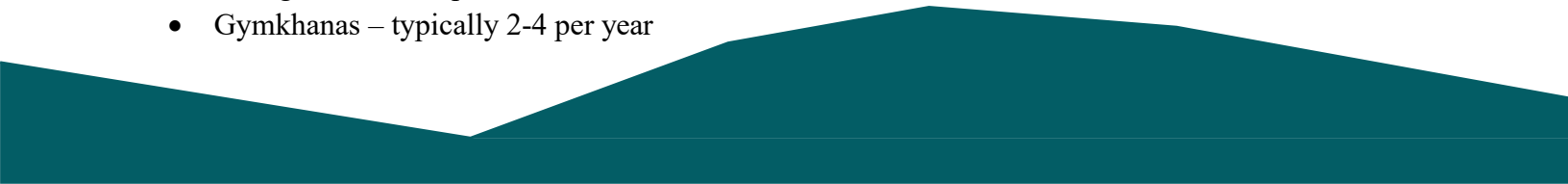
Following in the tradition of the former Summerland Trail Riders, this group started in 2006, as a sub-committee called the Summerland Rodeo Grounds Improvement Committee, under the South Okanagan Horse Association (SOHA) umbrella. It was comprised of residents who were concerned that despite the facility being rented for a variety of horses and other events, it was falling into disrepair from lack of maintenance. The group had the objective of providing volunteer labor for site upgrades and maintenance, and to raise funds to construct a covered arena.

Fundraising Activities

The Committee has engaged in major fundraisers including:

- The Dancing Andalusian Stallions Show
- The Survivor Challenge
- 2 RCMP Musical Rides
- Summerland Stomp Dances (annually 4 years)
- Barley Mill Pub Night Silent Auction
- Raffles (stained glass)
- "Rodeo Grounds" Coffee sales

Additional fundraisers since 2006 include:

- Equestrian Clinics – such as the Cowboy Challenges, Driving Skills, Saddle Fitting, Gymkhana and Working Equitation just to name a few.
 - Annual Horse Shows include the Fuzzy Horse Show, Spring Discovery Show, Youth Shows, Dressage Percentage Days, Clear Rounds, Halloween Horse Show and Fall Heritage Show. Typically, there have been 3-5 scheduled shows annually except for during the COVID period.
 - Gymkhanas – typically 2-4 per year
- 

Over \$70,000 has been raised over the years through these activities.

It should be noted that a portion of the funds raised by the SRGEDC over this early period were held in a reserve account with the District of Summerland. As of November 2022, there is \$11,000 in this account. The balance of the funds was spent over the years on upgrading the washroom facilities.

Equestrian Community Contributions to the Summerland Rodeo Grounds

At this point we have been unable to access records of the costs and labor hours contributed by the *Summerland Trail Riders* to build the facilities but do know that they were significant and from reports spanned a ten-year period.

The *SRGEDC* worked with the District of Summerland to finance 5-year priority projects, as identified in the P.E.R.C. Consulting Feasibility Study completed in January 2008. Items included:

- 2009 – improve clubhouse, cook shack roofs
- 2010 – Electrical upgrades, site grading and water stations for a “temporary campground”
- 2011 – Washroom and shower building improvements
- 2012 – bleacher upgrades to existing seating, fencing and corral improvements
- 2013 – lighting improvements.

In total to date over \$23,000 has been spent, including direct payments to the District of Summerland for improvement projects including:

- 2009 – Fencing between the announcers’ booth and warm up arena constructed, gates purchased and installed on all corrals, a lunging arena built, temporary corral fencing purchased, shelving in the equipment shed installed. Also, signage was printed and installed.
**Note the lunging corral and signage are no longer on site.*
- 2010 – Free standing corrals for horse camping were constructed with donated supplies and labor on the flat “group camping location” and on the grassy meadow.
- 2012 - Construction of covered stabling between the main arena and warm up arena was completed – costs included excavation of the site, dumping of fill, lumber, paint, and supplies. Members donated much of the equipment and supplies, reducing project costs.
- 2014- removed old bleachers located behind clubhouse and took them to the landfill. Purchased Commercial Kitchen Equipment and microwave for the clubhouse/concession.
- 2015- Contracting through District of Summerland to upgrade arena footing.
- 2016- Purchased lumber, supplies, and paid for labor to build jumps and dressage arena for events
- 2018- Purchased supplies and equipment to repair corrals and arena fencing when the announcer’s booth and cattle chute structure between main arena and warmup arena were removed. Purchased wheelbarrows, manure rakes, locks, keys, gate hinges, fuel for equipment to repair arena etc.
- 2020-Purchased materials to install a wooden guard rail installation in Main Arena

In addition, a minimum of \$11,000 has been provided to the District of Summerland in facility rental costs from 2007 to 2022 for events hosted (excluding grant in kind funding received).

The balance of the funds held by the Parks and Recreation in the SRG improvement account may have been used directly by the District to finance projects. We have no records of how this money was allocated after 2013.

More significant, however, is the thousands of volunteer hours club members have put into maintaining and improving the Summerland Rodeo Grounds facility since 2007. In all the projects listed above, costs reflect material only, as volunteers provided labor.

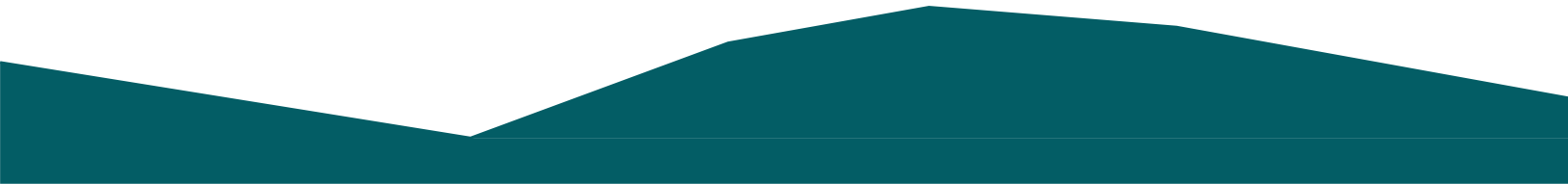
Club members have hosted annual clean up days to remove garbage left behind at the facility, repair broken fencing, complete minor repairs to structures, paint bleachers, pick rocks, weed eat, rake needles etc. All using their own personal vehicles and equipment, fuel, and supplies. Additionally, members have provided equipment such as harrows and a tractor, some years on a weekly basis, to ensure the arena surfaces are kept in good condition and clear of weeds. These efforts have ensured that the site is in reasonable condition for all users.

Contributions to the SRGEDC from DoS

Financial Records show that SRGEDC first started receiving a Grant in Aid from the District in 2016. I could not find any records pre-dating this but the District may have something.

- 2016 Grant in aid of \$224 to contribute to costs of hanging the banner in downtown.
- 2017 Grant in Aid of \$210 to cover cost of hanging banner in downtown.
- 2018 Grant in Aid \$630 for facility rental fees and to offset costs of hanging banner.
- 2019 Received Grant in Aid to cover some facility fees \$1 400.
- 2020 Received Grant in Aid to cover some facility fees \$644.25.
- 2021 received Grant in Aid to cover facility fees \$990.
- 2022 received Grant in Aid to cover some facility rental fees \$990.
- 2022 received funds to purchase paint and supplies \$156.

The SRGEDC looks forward to being part of the future of this facility through offering equestrian recreation and education opportunities and fiscally responsible improvements to the venue that benefit all citizens of the community.



**Summerland Rodeo Grounds Equestrian Development Committee (SRGEDC)
Report on Recreational and Economic Value
of Equestrian Sport in Summerland
March 2023**

Key Themes

- Support the multi-user aspect of the facility, but request that the historical use as an equestrian facility be respected and given primary consideration.
- Maintain equestrian access to the Main and Warm up Arenas, Stabling, Equipment Shed, Parking Lot for horse trailers and traditional roadways which connect the parking areas/arenas to the Conkle Mountain trailheads.
- Recognize that given the nature of equestrian activities, some types of recreational activities are not a good mix in close proximity to riding facilities or access pathways. Planning should take these into account and mitigation strategies built into the design.
- Acknowledge the significant hours of volunteer labor and financial resources that the equestrian community has contributed to building, enhancing, and maintaining the SRG facility for over 50 years. (See Appendix A for further details)
- Ensure that if this site is to be further developed sufficient resources are available for maintenance, consistent with other designated parks in Summerland. Some examples would include ongoing vegetation management, repairs to infrastructure and regularly removing garbage/debris.
- Maintain the facility as a “natural” park – minimize the posting of signage, building of structures, paving, benches that detract from this. Ensure any additions reflect the natural landscape, use natural materials (logs, rocks etc.)

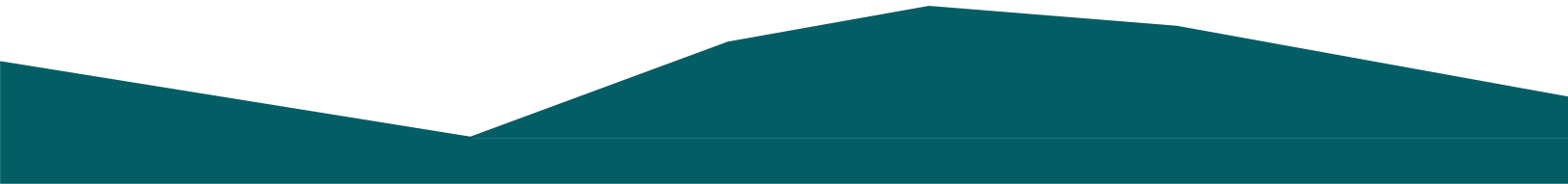
Recreational Value (Youth/Seniors)

- Equestrian sports are an important segment of our recreation profile in Summerland. Horseback riding contributes to citizens leading healthy, active lifestyles and greatly enhances residents’ quality of life.
- Horseback riding is accessed by a full spectrum of ages with the majority of participants being youth and older age groups (50+)
- The Summerland Rodeo Grounds Equine Development Committee has 442 members and 150 of these actively participated in events hosted by the club over the past year. Members represent equestrians from throughout the Okanagan/Similkameen.
- SRGEDC members span the spectrum of equestrian disciplines: English, Western, and Driving which are all unique in their riding and equipment. Events the club plans cater to this range of membership (i.e. Gymkhanas, dressage and jumper shows, working equitation etc.).
- While equestrians do participate in events planned at the grounds, others drop in to use the arena facilities and connect with the Conkle Mountain trail network when it is not rented out. The Caretaker estimates about 20 drop ins per week between spring and late

fall. This use option has not been widely promoted to the equestrian community; however, there is the potential for this number to increase exponentially if it were.

- Horse Council B.C. (HCBC) indicates that they have 1,815 members in our region with another 2,450 in the surrounding areas. They shared that they are noticing a shift in their members relocating from the Fraser Valley/Lower Mainland to the Interior.
- Equestrian events hosted at the SRG (eleven in 2022), provide education and competition opportunities for participants of all ages and abilities. Again, youth and seniors are commonly represented at these activities. Participation in equestrian sports leads to improved physical and mental health and plays a key role in positive youth development leading to better academic outcomes and higher self-esteem.
- The SRGEDC promotes events that span the spectrum of horse disciplines including western, English and Driving. It should be noted that, and this is important, that access to the SRG facilities is available for equestrian users to book in the future, as there is no alternative option in Summerland or surrounding areas. Users come from throughout the Thompson/Okanagan/Similkameen, particularly Penticton and area and rural Summerland.

Economic Impact

- The horse sector is important economically in Summerland and the area. There are an estimated 325 horses on more than 50 farms in the District of Summerland proper and significantly more in the surrounding RDOS. This number continues to climb as evidenced anecdotally in the community with new people moving to the area. Horse Council BC backs this up, indicating that the regional distribution of horse ownership has shifted in recent years from the Lower Mainland into the interior as the cost of horse keeping escalates. Many equestrians from other communities (primarily Penticton/Naramata/West Kelowna) keep their horses in Summerland and access training, instruction, and affiliated services in our community.
 - There are more than 25 Summerland based businesses offering direct services such as horse boarding, training, riding instruction, trail rides, bedding and feed sales, farrier, and equine massage to name a few.
 - Over eleven farmers in Summerland produce hay as their primary agricultural crop, which is sold to horse owners.
 - Finally, horse owners also access other Summerland businesses for farm management such as excavating, fuel, sand, and gravel, fencing and building materials, irrigation, and farm equipment.
 - Horse Council BC in their 2019 Economic Impact study indicates that the average cost of keeping a horse in the recreational category costs \$13, 814. This number increases for those who board their horses. In the same report it is indicated that average board costs between \$600-750.
- 

Tourism

- Clinics and Events hosted at the rodeo grounds already draw a significant number of people into the community. Some of them stay for longer durations to take advantage of the amenities offered in Summerland (i.e., wine tasting on horseback at Summer Gate, Endurance Riders from the Fraser Valley staying after the event to ride the trails)
- There is a huge opportunity to expand equine tourism further to benefit the community. Equestrian camping has been growing in popularity in recent years and existing facilities in the province are booked through peak periods.
- Adding equestrian attractions such as a Mountain Trail, Working Equitation or Cross-Country Jump Courses and campsites with hook-ups and stabling options would be a major draw for further users. (See project list)

Partnerships

- The SRGEDC has partnerships with other equestrian groups including the Garnet Valley Gang, Endurance Riders of B.C., Penticton Pony Club, A.L.E.R.T, Horse Council B.C., and other non-profits such as Blue Grass Festival, Summerland ATV Club to support activities. Many private businesses in the Community have also supported fundraising activities hosted by the SRGEDC.
- There are many examples of successful publicly owned equestrian facilities located throughout B.C. Some are wholly managed by regional districts or municipalities, others in partnership with non-profit organizations. Some allow multi-use access, while others are earmarked for equestrian uses only. (A list is available)

Environmental

- Appreciate that the SRG Facility is in an environmentally sensitive habitat area. Riparian component along Trout Creek/Summerland water supply through the flumes on the opposite side. Home to snakes (rattle, bull, rubber boa, racer etc.), badgers, moose, deer, squirrels, bears, cougars, coyotes. Also, home to fragile old trees, vegetation, poison ivy, prickly pear cactus and rare wildflower species.
- Practices should be implemented to protect against continued environmental damage such as restricting driving motorized vehicles around the property (sand hill and pathways), restrict parking inside the park in undesignated areas (currently at the end of the roadways before the Conkle park boundary), designated bear proof bins instead of open barrels for collecting garbage etc.
- Fire danger in this area is extreme, given the pine forest and buildup of pine litter and deadfall over the years. Prevailing East winds through the summer and lack of water to mitigate against any fire event at the site increase this risk. The SRGEDC does not support installation of fire pits or allowing fires on this site at any time of year. Propane fire pits have become a viable option for campers.

Infrastructure

- Much of the original building infrastructure on the grounds needs repair or upgrades in order to meet current standards. Additionally, utilities at the site present barriers to year-round use of the facilities or future developments without costly upgrades. The cookhouse ventilation does need to meet standards for indoor cooking and there is insufficient water to use for irrigation/watering/fire mitigation.

Vision – Present Term

Infrastructure/Maintenance

- Maintenance and Upgrades to the existing infrastructure to preserve its use for the future (see Project List)
- Establish plan to improve arena footing to acceptable standards.
- Better understand water availability
- Regular harrowing, watering of arenas, garbage clean-up, weed-eating, raking etc. and better maintenance of Clubhouse, bathrooms by District of Summerland as part of the regular parks' maintenance program – consistent with other park maintenance.
- Maintain existing parking near the arenas and means of egress through pathways to access Conkle Mountain Park trail network. Typically, this has been from parking areas, alongside the bleachers and up behind the warmup arena across the grassy meadow and down the sand hill. Also, the roadway across from the Garnet Valley Gang area (next to the old picnic table) has been used for trailer parking and access to the Conkle network. This allows for separation of horses and other user types at the TCT Trail head.
- Installation of bear proof bins for garbage management
- Management of toxic weeds
- Installation of signage (professionally built structure from SRGEDC) that allows for posting of information (rental, event calendar, trail maps, environmental hazards, and courteous use of arenas/trails)
- Identify areas where temporary stabling can be set up to accommodate larger equestrian events.
- Develop options for vehicle access (trailer turnaround)

Site Management

- The Caretaker model is excellent as given the remote location of the facility it is important to have a presence for both park user safety and protecting assets.
- Implementation of consistent fee schedule and site management for facility renters (camping during events etc.) Consistent follow-up on damages, materials left behind by renter groups.
- Continue posting facility rental calendar so drop in users can plan accordingly.
- Signage (private or event in progress spectators welcome)

- Dedicated calendar for use of equestrian arenas during peak season except for dates scheduled for annual community events (Bluegrass Festival, Interior Running etc.)
- Facility objective needs to be determined. Is the goal for self-supporting, generating profit, funded as a recreational venue, primarily for residents of anyone who wants to rent it?
- Look at options for sharing the facility when complementary events are planned. Consider alternative community venues options for events that are inconsistent with the primary use.

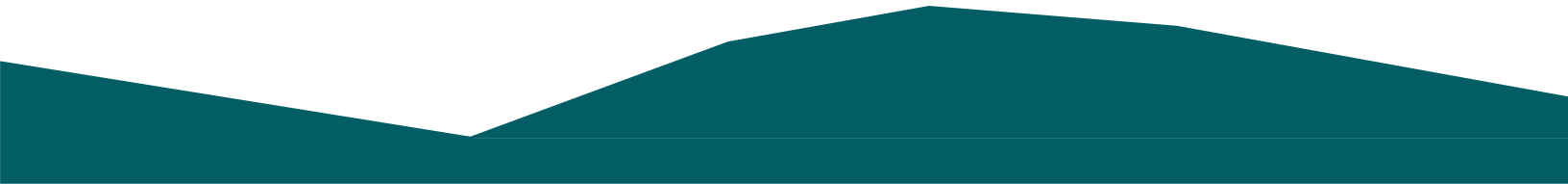
Vision – Medium Term

- Minimal interpretative signage on other portions of the property to assist in user wayfinding, identification of plant and environmental hazards, provides a reminder to respect the environmental sensitivity of the area and tips for multi-user etiquette. Again, the style of signage should be reflective of the natural environment.
- Development of equestrian camping areas to allow for promotion of the equine destination tourism aspect.
- Maximize use of clubhouse by ensuring basic infrastructure is sound and utilities work (heat/electrical). This could encourage other uses year-round where groups are looking to host indoor activities (i.e., South Okanagan Dogs Association)
- Look for opportunities for stakeholders to partner to leverage community infrastructure funding in collaboration with the District to build/upgrade amenities (Cook shack, Washrooms, Clubhouse)
- Replace the Round Pen that was removed with a structure using the metal panels available.

Vision – Long Term

Options to promote sport/recreation and economic and tourism aspects of the equestrian industry.

- Mountain Trail Horse Facility/Working Equitation Obstacles (behind equipment shed and Trout Creek) – would make facility a destination travel location for equestrians.
- Construct an indoor arena/coverall – provides year-round use opportunities for multi-users.
- Develop an Eventing Cross Country Course (i.e., Campbell Valley Park, Island 22 style)- would allow for the local hosting of events under the Horse Trials BC format and draw participants from BC/Alberta



APPENDIX 8

GARNETT VALLEY GANG LETTER

From: Wendy Davis <mexicaliboots@gmail.com>

Sent: March 5, 2023 2:23 PM

To: Lori Mullin <lmullin@summerland.ca>

Subject: Garnett Valley Gang

It has come to our attention that alot of people in Summerland are not aware of what the Garnett Valley Gang does with the money they raise from robbing the Kettle Valley Steam Railway for the last 26 years. I would like to inform them. We are all volunteers from up and down the valley. We all pay for our own gas, as alot of us do not reside in Summerland. We also pay for our own horses and costumes.

Here is what we gave to our charities last year.

- | | |
|---------------------------------|--------------------------|
| 1. Summerland Secondary School | \$ 1500.00 Lunch Program |
| 2. Summerland Middle School | \$ 1500.00 Lunch Program |
| 3. Giantshead Elementary School | \$ 1500.00 Lunch Program |
| 4. Agur Lake Camp | \$ 1500.00 |
| 5. Summerland Rodeo Grounds | \$ 1500.00 |
| 6. Cops for Kids | \$ 1000.00 |
| 7. Hoofbeats 4-H Club | \$ 2000.00 |
| 8. JoeAnnas House | \$ 2500.00 |

We have been giving to most of these charities for many years. One of the schools told us years ago that it was like winning the lottery for the lunch program. Joeannas House is new to us but is a good cause. It is a place where if you have someone in the hospital and are from out of town, you can stay there close to the hospital.

As our train robberies are usually sold out, sometimes into the next year we help generate alot of tourism for Summerland. We, along with the Kettle Valley Steam Railway have been voted the top tourist attraction in the Okanagan a few times by expedia. Just Sayin!.

Please forward this email to City of Summerland council members or anyone else you think would be interested.

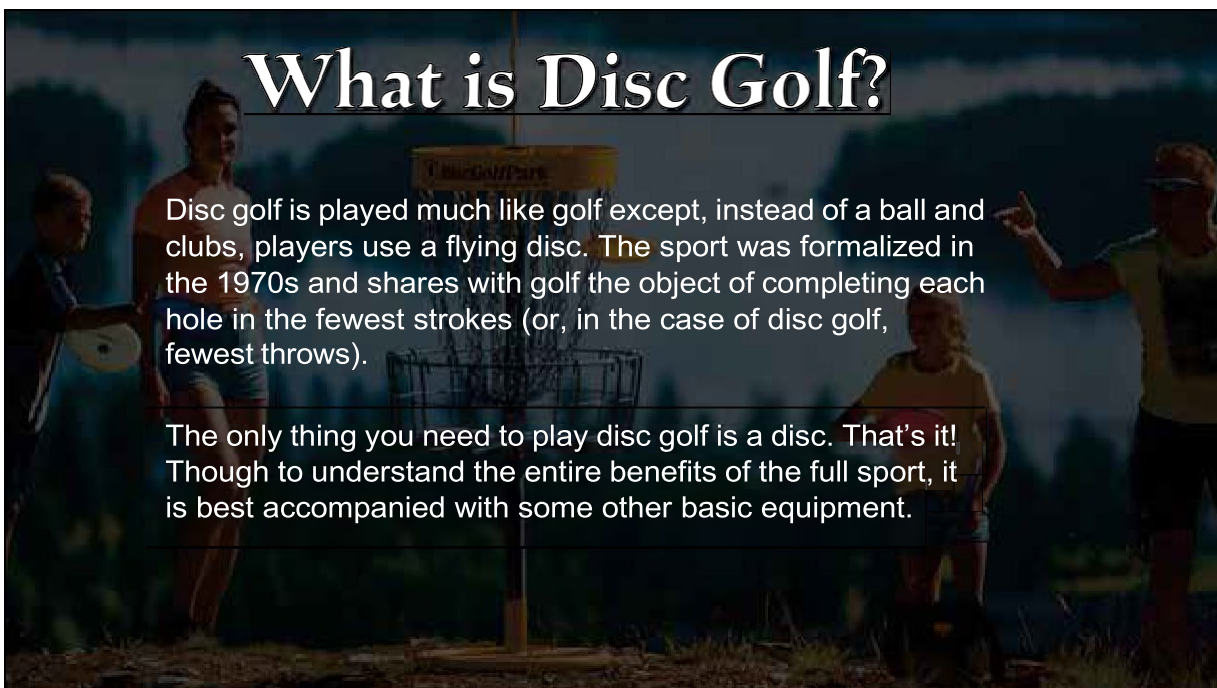
Thank You

Wendy Davis (Mexicali)

Secretary of the Garnett Valley Gang

APPENDIX 9

DISC GOLF PRESENTATION







Why are we proposing a course in Summerland?

○ Disc golf promotes health and well being

Disc golfers cover a lot of ground, taking upwards of 6,500 steps (3.25 mi/5.25 km) during an 18-hole round. That means players are outside and can cover more than half of their recommended daily step count in under two hours, all while honing the mental focus that disc golf requires

Why are we proposing a course in Summerland?

○ Disc golf is affordable and accessible

There are more than 11,500-disc golf courses in the world, and 60% of them are in public parks. On top of that, 91% of all disc golf courses are free to play.

Even as costs have skyrocketed for households worldwide, disc golf remains a reliable source of low-cost, high-value recreation due to the overwhelming majority of venues not requiring greens fees or membership dues. Outside of a modest increase in equipment prices, access remains resistant to inflation.

Why are we proposing a course in Summerland?

○ Disc golf serves more of our community

More than 70 players can fit on an 18 hole disc golf course at one time if they play in traditional groups of four. With the average round on taking 1 hour and 40 minutes to complete, that means more than 550 players a day can access a course depending on seasonal conditions.

That number is far higher than the capacity of tennis courts, basketball courts, and other sports facilities that often require more money to install.

Why are we proposing a course in Summerland?

Disc golf can repurpose neglected spaces

Some spaces can suffer from vandalism and vagrancy. Many places across the world have filled those neglected areas with a disc golf course. Having more of our community out there playing can be perceived as a neighborhood watch program. When courses become more popular it can drive a lot of people to these areas that were never there before.

Local stores like in Penticton have started selling discs and advertising on the signs and baskets. When the public inquires about the discs they point them in the direction of the course all while generating more revenue.

Why are we proposing a course in Summerland?

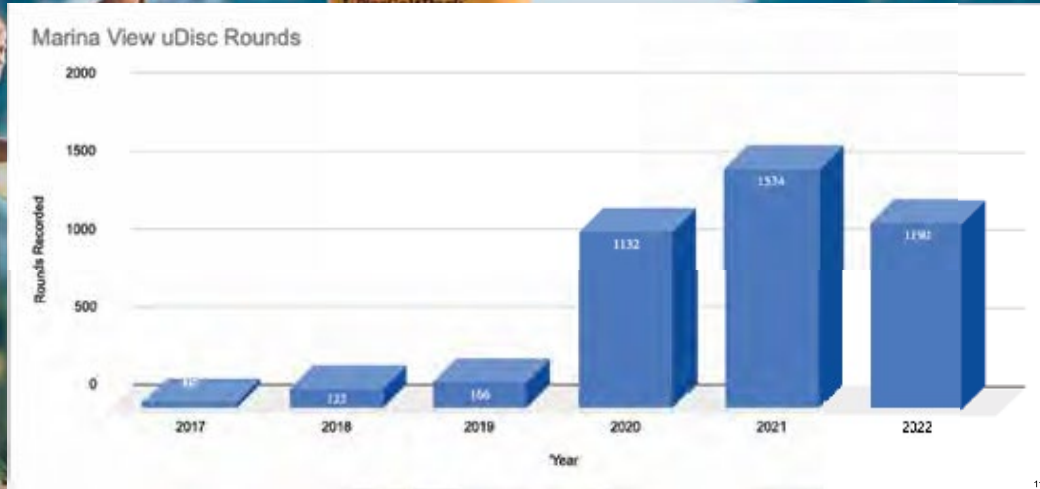
Disc golf stimulates the local economy

When disc golfers come to town, they spend more than just time on the course. The Peoria, Illinois Convention and Visitors Bureau sees more than \$1 million in direct economic impact every summer from the Ledgestone Insurance Open, while Columbia, Missouri's Mid-America Open nets more than \$150,000.

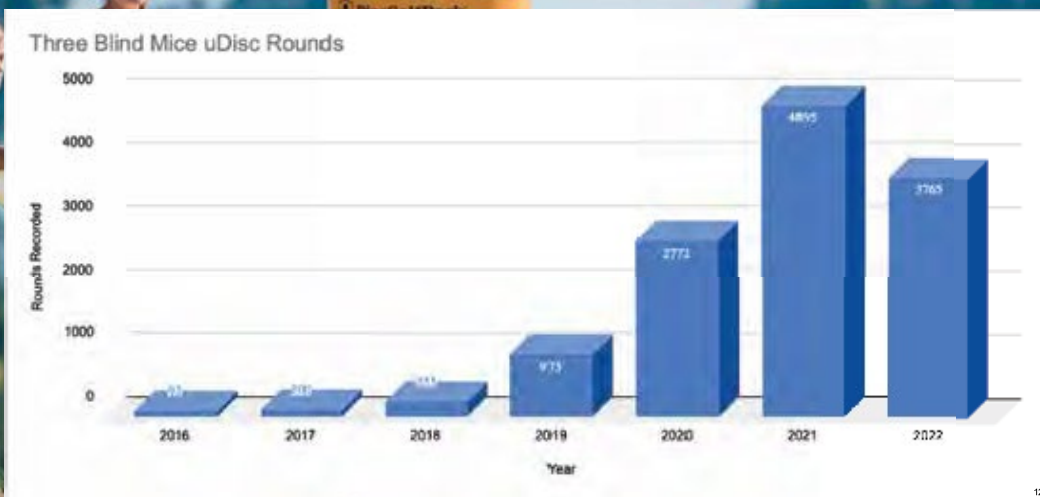
It doesn't just have to be with big events, though: Ben Smith, a course designer in Canada, found that a single course brought in more than \$11,000 in annual economic impact for its small municipality of Hillborough – in less than six months and with fewer than 700 rounds scored on UDisc. In the United Kingdom, course designer Richard Hatton reported in 2017 that disc golfers were willing to travel up to four hours to visit a new disc golf course.

If you build it, they will come – and they'll bring money.

Local Course Stats



Local Course Stats





Other Local Course Stats

<ul style="list-style-type: none"> • Knox • 2019 - 1115 • 2020 - 2572 (+231%) • 2021 - 5240 (+204%) 	<ul style="list-style-type: none"> • Mac Island • 2019 - 900 • 2020 - 2437 (+271%) • 2021 - 4765 (+196%) 	<ul style="list-style-type: none"> • Rose Hill • 2019 - 542 • 2020 - 1901 (+351%) • 2021 - 4091 (+215%)
<ul style="list-style-type: none"> • Cranbrook • 2019 - 1331 • 2020 - 3040 (+228%) • 2021 - 5199 (+171%) 	<ul style="list-style-type: none"> • Raptors • 2019 - 4352 • 2020 - 12901 (+296%) • 2021 - 22605 (+175%) 	<ul style="list-style-type: none"> • Calgary Baker Park • 2019 - 5371 • 2020 - 19279 (+359%) • 2021 - 35791 (+186%)



DISC GOLF GROWTH REPORT 2023

PREPARED BY UDISC

Growth Overview

- 14,048 disc golf courses worldwide
- 4.3 courses installed per day in 2022
- 500 million people live within 10km of a course
- 98% of disc golf courses are free to play

Courses

- 14,048 disc golf courses worldwide
- 4.3 courses installed per day in 2022
- 500 million people live within 10km of a course
- 98% of disc golf courses are free to play

Players

- 1.2 million players use UDisc
- 18 million rounds scored on the app
- 32.6 million hours spent on the course in 2022
- 56% of UDisc players score at least one round a month
- 90% of players report telling someone about disc golf

International Growth

61 countries with courses

- United States: 9,488
- Finland: 1,050
- Canada: 752
- Sweden: 605
- Norway: 523

Highlights

- Norway: Course growth is up 21%
- Guatemala: Rounds played increased by 206%
- Mexico: Spain: Rounds played increased by 180%
- New Zealand: Added more courses than Australia

Disc Golf Travel

- 57% of players traveled 20mi (32km) for a round of disc golf
- 89% of those players took a specific disc golf trip

For specific data inquiries, please drop us a line: hello@udisc.com



Costs and Funding

- When we looked at the number of players that filter through courses, we can see how cost-effective Disc Golf is in comparison to other sports and facilities. 18 Disc Golf baskets can be purchased for as little as \$8,000. A full A-Tier PDGA (Professional Disc Golf Association) approved, 18-hole course with baskets, tee pads and other miscellaneous equipment can be installed for approximately \$20,000.
- One local enthusiast has come forward with a donation towards new course baskets specifically for Summerland leaving us just \$3000 shy of all 18. Another local business owner and resident offered to purchase an additional basket. More fundraising will cover the entire cost of our initial plan.
- Short-and long-term maintenance will be provided by community volunteering, PDGA members and organized disc golf clubs.

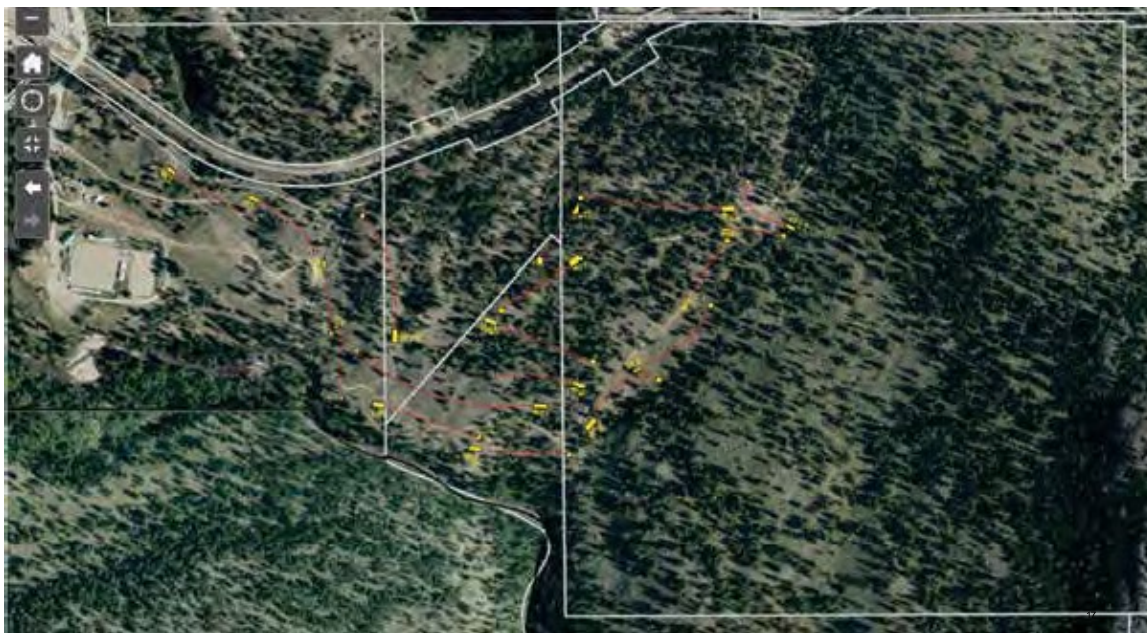
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The Main goal

- To propose a Pilot/Trial 18-hole Disc Golf course utilizing small portions of each Municipal parcels 011-532-084, 011-397-471 & 011-530-634.
- A Pilot project will help to design a course that will not interfere with any other local clubs or members of the public that will be sharing the area. Permanent installations across 81 countries manage to share and maintain these beautiful pieces of land with others and will very much be the goal here as well.
- Let's get people out playing and enjoying the benefits Disc Golf will bring into Summerland, B.C.!

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APPENDIX 10

2008 SUMMERLAND RODEO GROUNDS REPORT



DISTRICT OF SUMMERLAND

RODEO GROUNDS REPORT

JUNE 2008

FINAL DRAFT

SUBMITTED BY:
PROFESSIONAL ENVIRONMENTAL RECREATION CONSULTANTS LTD.

STANTEC CONSULTING LTD.



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• |

The study was initiated, in part due to an interest expressed by the Rodeo Grounds Development. Advisory Group as well as a number of other organizations that are either actively seeking a new location for their activities, or have been considering the Rodeo Grounds as a location for future use.

Site 1_1c;nion Plan.

- One or more visits to the site
- Completion of an inventory of existing amenities on the site
- Discussion, with District of Summerland staff and elected officials
- Discussion, with local organizations,
- Collection of information from a number of communities in British Columbia that operate similar facilities.
- Preparation of a draft report for presentation to Council
- Further discussions with representatives of the Rodeo Groups Development Advisory Group
- Preparation of a final report

Work on the project commenced in November 2007, with an anticipated completion date during the spring of **2008**.

2. THE SITE

The Summerland rodeo grounds are located at 17202 Bathville Road (PIO 011 532 084, that part of DL 2886 ODYD Yale District Lying south of Plan A67 Except Plan A439) and occupy 73.76 acres of rolling property on the western boundary of Summerland.

The Rodeo Grounds property is bordered to the west and the south by Trout Creek, and to the east by Mount Conkle Park and to the north by the Municipal flume line, Trans Canada Trail, and Kettle Valley Railway. The property has long been owned by the District of Summerland with the operation of the Rodeo Grounds coming under the direction of the Parks and Recreation Department in the mid 1990's.

The property, formerly operated by the Summerland Trail Rides Association, is zoned PRZ (Parks and Recreation).

2.1 EXISTING AMENITIES

The following provides a summary of key information regarding the site:

The location is approximately 5 kilometers from the downtown core - Bathville Road is paved, and the driving time from downtown to the site takes approximately 10 minutes.

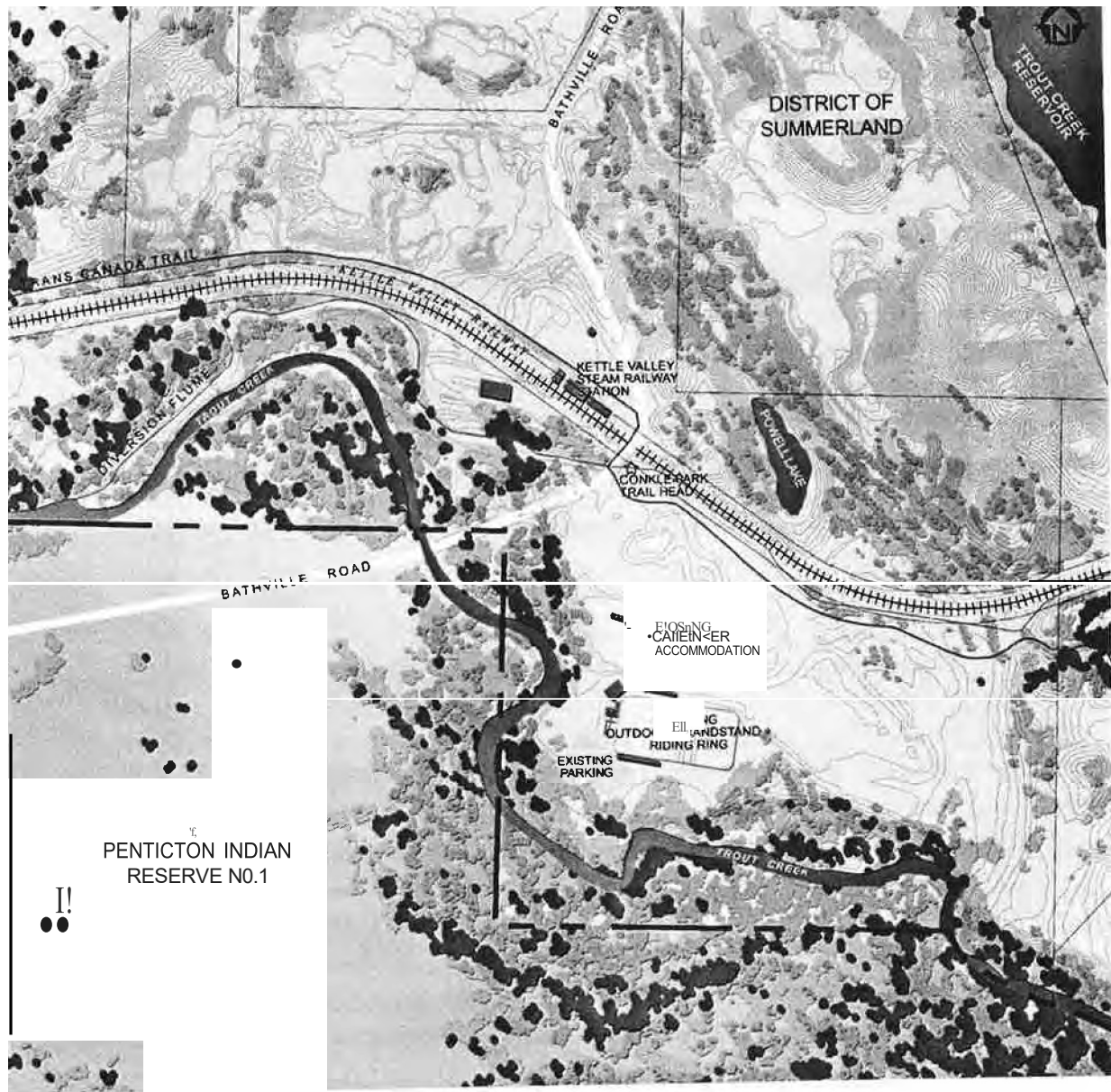
The rodeo Grounds are defined by the Kettle Valley railway line, and a concrete diversion flume from Trout Creek to the municipal water reservoir (for irrigation and domestic use) on the eastern side of the property, by Trout creek on the south and west sides, and by Bathville road on the north. Bathville Road continues past tile site to lands of tile Penticton Indian Reserve No. 1.

Mount Conkle, a 200-acre park, dedicated on October 1, 2006 as part of Summerland's Centennial celebrations, is a natural forested hillside above the Kettle Valley railway and Trans Canada Trail, offering a natural vista, and located immediately adjacent to the southern boundary of the Rodeo Grounds. The Trans Canada Trail, heads east across Mount Conkle, and parallels the park's eastern boundary, along with the Kettle Valley Railway.

The Trans Canada Trail extends to the west past Osprey Lake, through Princeton, Tulameen and ending in Brookmere.

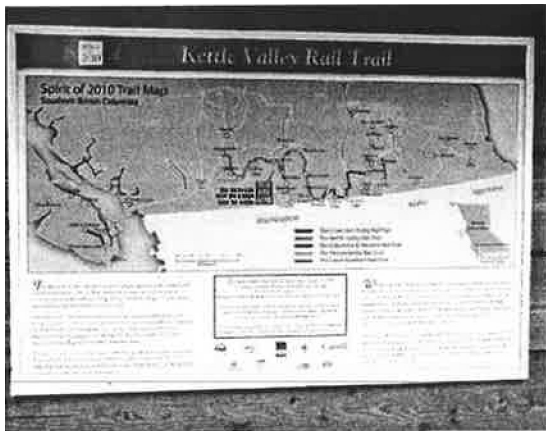
The Trail also extends to the south to Penticton and terminates at Okanagan Falls.

The KVR Trail extends to the east from Penticton, to south of Kelowna through Myra Canyon, Beaverdell. Rock Creek and Midway (Canada/USA border) at which point it carries on east, above the 49th parallel, as the Columbia Western Rail Trail.



SUMMERLAND RODEO GROUNDS EXISTING SITE PLAN

13 March 2006



Kettle Valley Rail Trail Interpretive Signage.



Site Context.

The Kettle Valley Railway is an increasingly popular tourist attraction in the South Okanagan, and its "station" is located across Bathville Road from the Rodeo Grounds. The KVR Society is in the process of increasing the capacity of the Station, to accommodate an increased number of riders.

There is limited development between the downtown area and the Rodeo Grounds, however, a significant development project, including as many as 1,500 residential units, a small commercial area, and a private 27-hole golf course, has been proposed, and is moving through the approval process,

The site itself includes several existing facilities, including the following:

- A gravel road into the site, and an unpaved parking area. The parking area is not well defined; however, users of the site appear to be familiar with the areas in which vehicles can be accommodated.
- Accommodation for an on-site caretaker. The location appears to be well-located to allow the caretaker to observe much of the activity that takes place on the sites.
- An outdoor grandstand and riding ring, including several stalls or pens for animals. The structures have been in place for several years, and appear to be in reasonable condition, but undoubtedly, could be improved.
- A building that includes a seasonal concession, which is located immediately adjacent to the grandstand. The building is functional and is roughly the same age as the grandstand itself.
- Several smaller buildings and enclosures are also located in the immediate area. The buildings are used primarily for storage, and the enclosures are intended for animals which are brought to the site for various activities.
- Several informal "trails" are evident. These appear to be used primarily by horses.
- There appears to be a certain amount of informal use of the overall site, and a fair amount of unsightly litter.



South Okanagan Horse Association Building.



Existing South Grandstand.



Existing Site Entry Road.



Existing Arena and West Grandstand.

2.2 EXISTING SERVICES

The following services are available to the site at the present time:

The caretaker residence and the Kettle Valley Railway use water from a domestic well located on the property.

The site is served by single phase power.

It should be noted that two emergency wells were dug in recent years, when Summerland experienced a serious shortage of water. These wells are fenced, to prevent access. The consultant recommends water quality testing. Three phase power is available to the emergency wells, and when development of the new treatment plan is completed, there will be an upgrade in the power grid.

Additional information regarding site services is included in Section 4.0 of this report.

2.3 CURRENT USE OF THE SITE

Although the site is referred to as the Rodeo Grounds, there hasn't been a rodeo in Summerland for several years. Uses of the grandstand and riding ring are, for the most part, informal, however the site accommodates an annual Bluegrass Festival and occasional equestrian events. There is also some all-terrain vehicle activity on the site, as well as some horseback riding.

It should also be noted that the site is used as a staging area for the Kettle Valley Railway in preparing for the KVR society's popular "train robberies". The northeast corner of the property is used for this purpose and a formal agreement regarding its use would be appropriate.

The Bluegrass Festival will celebrate its 13th anniversary in June of 2008. This event has become increasingly popular, and the grounds are fully utilized during the three days of the festival with over 150 recreational vehicles and camping units on site.

3. INTEREST IN THE SITE

The following information was collected from District of Summerland officials, and from local organizations which have expressed an interest in improved facilities and access to the Rodeo Grounds.

3.1 RODEO GROUNDS DEVELOPMENT ADVISORY GROUP

In 2007, the District of Summerland received a proposal prepared by members of the South Okanagan Horse Association on behalf of parties interested in the development of the Rodeo Grounds.

The document indicated that a volunteer group (the Rodeo Grounds Development Advisory Group) had been established, and that it was comprised of various community organizations, most notably, the South Okanagan Horse Association. This Advisory Group represents a variety of interests including:

South Okanagan Horse Association

Pony Club

Therapeutic Riding

Okanagan Similkameen Neurological society - rehabilitation and training of rescue animals

4-H - Livestock showing

Summerland Fall Fair

Blue Grass Festival

Skaha Kennel Club

Trans Canada Trail

Summerland All-Terrain Vehicle Club

The following information was collected during a November 2007 meeting with Advisory Group representatives and summarizes the interests of the Advisory Group, including its Vision and potential uses of an indoor arena.

The proposal included a vision, or "wish list" which outlined future potential uses of a fully developed equestrian center which would be used by the organizations mentioned above, in addition to other organizations from British Columbia and beyond.

The list of desirable amenities includes:

An Indoor Covered Arena, with bleachers, a riding ring with appropriate flooring, a removable floor, a watering system to dampen the riding grounds, and a sound system for dances and concerts.

Outdoor Stables and Stalls, with permanent and portable stabling to accommodate horses and other large animals, washing stalls, electrical outlets for stabling, sound and staging systems and water access at stables.

Arenas and Rings, including a large outdoor riding ring, 1 or 2 outdoor riding rings, a round pen and watering system to dampen the riding grounds.

In addition, several amenities were suggested including:

Camping sites with electrical hook ups
and water access

Kitchen facilities for on-site cooking
and catering

Concessions

Trails

Bleacher seating

Washroom and showers

Wash racks with hot water

Paved parking

A public address system

Portable fencing

Public address system

Office/communications area

Fire suppression equipment

Shade trees

Storage and outbuildings for regular site
Users

Back-up generator power /alternate power
source

During a subsequent meeting with representatives of the Bluegrass Festival, the Fall Fair, and the South Okanagan Horse Association, it was suggested that the most pressing priorities for the site included:

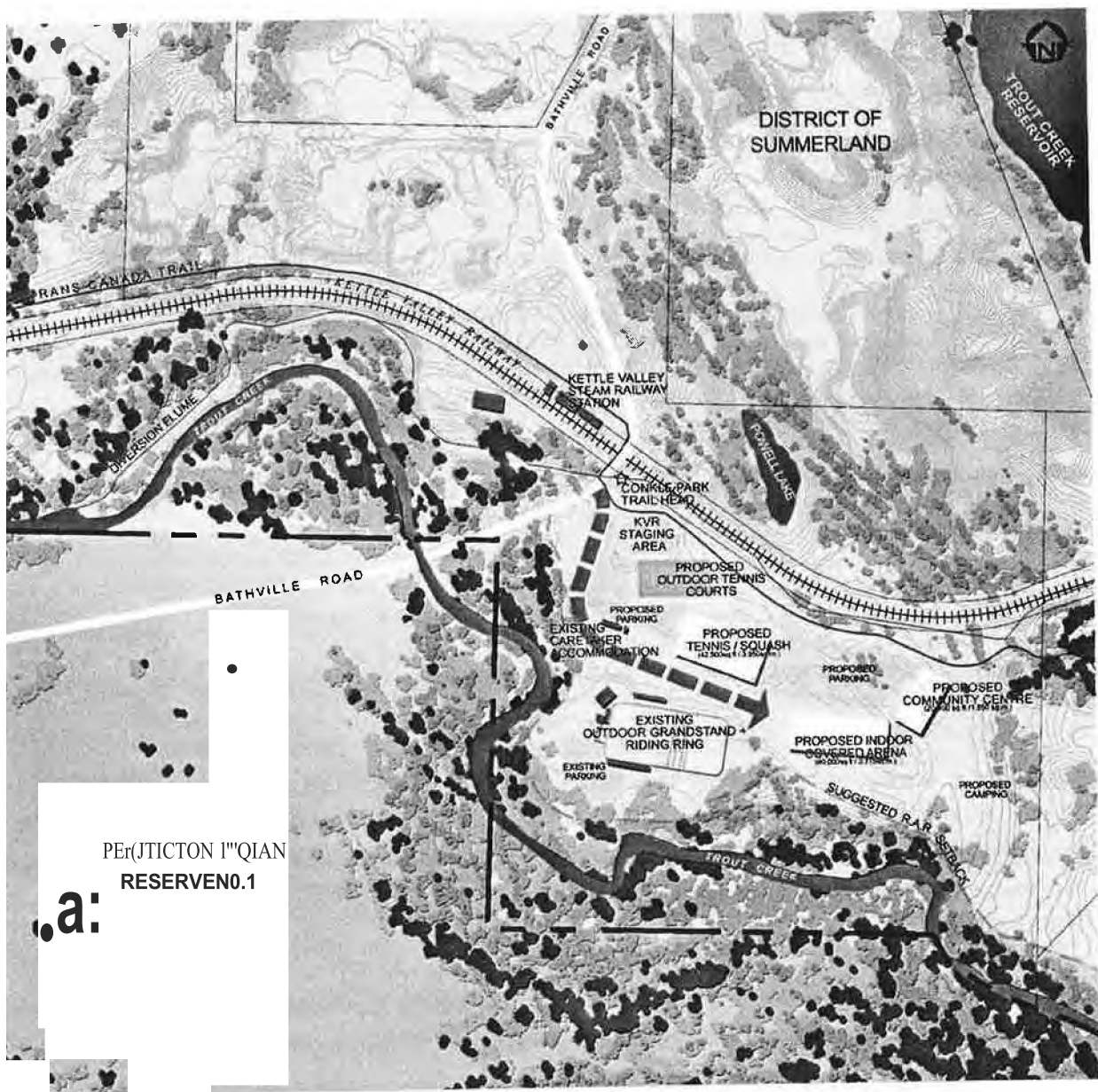
The repair or replacement of the roof of the cookhouse and cookshack, with improvements to the concession.

The provision of outdoor lighting.

Improvements to the existing bleachers and repairs to the existing pens and gates.

Basic improvements to the camping area. including electrical outlets and water outlets.

It was also suggested that many of the volunteers involved with these organizations would be willing to volunteer their time and expertise to ensure that the improvements are completed in a timely and efficient manner.



SUMMERLAND RODEO GROUNDS PROPOSED FACILITY PLAN

The purpose of this illustrative plan is to demonstrate, in general terms - scale, fit and site capacity. Additional facilities may be appropriate over time and the plan might conceivably accommodate other compatible uses.

As a final note, the meeting participants agreed that the site is an "emerging parks and recreation amenity" and that its primary purpose should continue as a municipal park.

3.2 USES OF AN INDOOR COVERED ARENA

It was noted that equestrian activities have generally been restricted in areas other than the Lower Mainland of British Columbia, due to inclement weather between November and February, and that the extreme heat and other weather conditions also cause problems at other times of the year.

An indoor facility would allow the local community the hosting of local and high-level events year-round. These could include, but not be limited to, training clinics, therapeutic riding activities, shows (local, Regional and Provincial) and performances. In addition, an indoor arena could accommodate the Summerland Fall Fair, the Blue Grass Festival, dog shows, agility trials, concerts, festivals, dances, and other community gatherings.

3.3 LAKESHORE RACQUET AND TENNIS CLUB

Representatives of the Lakeshore Racquet and Tennis Club advised that if a coverall tennis facility was available, there would not be enough space on their current site. Assuming that this is the case, club officials would likely find it necessary to re-locate, and the possibility of a move to the Rodeo Grounds could be a consideration.

The club currently has a membership of approximately 150, however, there appears to be an increased interest in tennis at the present time, and membership numbers could increase. In addition, there is some question regarding the City of Penticton's interest in replacing the three court Coverall Tennis Center, which was closed to accommodate the construction of the South Okanagan Event center. While several Summerland residents have played tennis in Penticton, the potential number of players is likely much larger than 150.

An ideal facility would include 3 or 4 indoor tennis courts, plus 2 squash courts, and 3 or 4 outdoor courts. It is the consultants' opinion that the Rodeo Grounds would be less than ideal as a location for the Club. It is agreed that the space necessary to accommodate the facility is there, but the distance from the downtown core, and the expense associated with new construction would likely be significant. Other potential locations should be explored.

3.4 MULTI-PURPOSE COMMUNITY CENTRE

Discussions regarding other possible uses of the Rodeo Grounds also included mention of the possible long-term need for a multi-purpose community center. While such a facility may not be required in the immediate future and would depend heavily on residential growth and development in the immediate area, this might warrant consideration.

A modest community center, including a gymnasium, a health and fitness component, a small number of meeting

and activity rooms, and spaces dedicated to seniors and youth would likely require a 15,000 to 20,000 sq. ft. facility, along with necessary parking.

Although this report is not intended to recommend a community center, space requirements appear to easily fit within the site. Having said that, it might be more appropriate to locate a community building within the area of the new residential development or to consider several amenities within a larger indoor arena.

3.5 KETTLE VALLEY RAILROAD

The consultants also spoke to a representative of the Kettle Valley Railroad Society, which for several years, had explored the possibility of expanding their operations.

The Society had concluded that it would be best to remain at its current location, and plans are currently being prepared to expand the existing station by approximately 4,500 sq.ft. The completion of a new picnic structure is also scheduled for as early as 2008.

One of the major attractions of the railway experience is the "Train Robbery". The staging for this event occurs at the Rodeo Grounds, and the Society is hopeful that these arrangements will be allowed to continue in the future.

Camping on the Rodeo Grounds would also be welcomed by the railway, in that additional visitors would likely take advantage of the opportunity to "ride the rails", and improvements related to the provision of electrical power would be a definite asset.



Kettle Valley Steam Railway

4. SITE CONSIDERATIONS

Increased use of the rodeo grounds and the addition of new facilities will require the District to address several site-related issues. This chapter addresses a number of these.

4.1 RIPARIAN AREA ASSESSMENT

The Riparian Areas Regulation (RAR) was enacted under Section 12 of the Provincial Fish Protection Act in 2004. It requires local governments to protect riparian areas adjacent to watercourses during residential, commercial, and industrial development. Riparian areas are critical to the protection of stream health and productivity.

Under the Regulation, a land developer must hire a Qualified Environmental Professional (QEP) to assess existing habitat and the potential impacts associated with the proposed development and develop mitigation measures that will minimize the impacts of development to fish and fish habitat. The assessment methodology in the RAR provides clear direction to QEP's on how to assess impacts, determine setbacks based on site conditions, and recommend measures to maintain the integrity of the setbacks.



Trout Creek

The assessment then forms the content of notifications to regulatory agencies (i.e. Fisheries and Oceans Canada and Ministry of Environment (MOE). The MOE provides local governments confirmation of notifications so that they can proceed with approval of the development proposal.

There are two assessment methodologies available under the Regulation. The Simple Assessment is based on the type of riparian vegetation, the presence or absence of fish in the watercourse, and the proximity of existing permanent structures to the watercourse. This assessment is typically used at the subdivision stage of development.

The Detailed Assessment involves more detailed measurements of the watercourse on the subject property and requires the development of site specific 'measures' to protect the integrity of the riparian setback area. Often, additional QEP's are required to provide expertise regarding other areas of concern adjacent to, and within, the riparian setback area such as slope stability and hazard trees.

The RAR applies to the same activities as the repealed Streamside Protection Regulation. It applies to local government regulation or approval of residential, commercial, and industrial activities, or ancillary activities, as regulated by Part 26 of the Local Government Act including:

- Removal, alteration, disruption, or destruction of vegetation

- Disturbance of soils

- Construction or erection of buildings and structures



Trout Creek

Creation of non-structural impervious or semi-impervious surfaces

Flood protection works

Construction of roads, trails, docks, wharves and bridges

Provision and maintenance of sewer and water services

Development of drainage systems

Development of utility corridors

Subdivision as defined in section 872 of the Local Government Act

The RAR does not apply to a development permit or development variance permit issued only for the purpose of enabling reconstruction or repair of a permanent structure described in section 911(8) of the Local Government Act if the structure remains on its existing foundation. It does not apply to agricultural or institutional development, or to mining activities or First Nations reserve lands. However, other provincial or federal legislation may still apply.

The Riparian Assessment Area (RAA) for a "stream" is:

The 30-metre strip on both sides of the stream, measured from the high water mark

For stream-related topography less than 60-meters wide, a strip on both sides of the stream measured from the high-water mark to a point that is 30-metres beyond the top of the ravine bank

For stream-related topography 60-metres wide or greater, a strip on both sides of the stream measured from the high-water mark to a point that is 10-metres beyond the top of the bank

The RAA is the area that is assessed adjacent to a stream to determine what the site-specific setbacks from the stream should be. This area, called the Streamside Protection and Enhancement Area, or SPEA, is the area that is protected from development activities adjacent to the SPEA.

Should the District opt to use the latter and most conservative interpretation of the Riparian Area regulations, for the purpose of this report, we have located the RAR setback 10-metres beyond the top of the stream bank.

Although this is most likely well beyond the 30-meter strip, measured from the high-water mark, in the opinion of the consultant, it is a safe interpretation moving forward with a feasibility study of land use options for the remainder of the site.

The Riparian Areas Regulation directs local government (District of Summerland) to use as a minimum either inclusion of riparian area provisions in zoning bylaws in accordance with the direction in the RAR Section 4, or to use the tools available to them under section 26 of the District of Summerland (District) act that in the opinion

of the District provides a level of protection that is comparable to or exceeds that established by RAR Section 4. Therefore, if existing bylaws or permits in the local governments' opinion meet or exceed the Riparian Areas Regulation provisions, then the local government is in compliance with the regulation.

RAR Section 4 specifies that the following conditions must be met prior to allowing development to occur in the "Riparian assessment area" (as defined):

A qualified professional:

- (a) Certifies that they are qualified to conduct the assessment (attached as a schedule to the regulation)
- (b) Certifies that the assessment methods have been followed
- (c) Provides their professional opinion that there will be no harmful alteration, destruction, or disruption of natural features, functions and conditions (as defined) that support fish life processes in the riparian assessment area
- (d) The local government is notified by the Ministry of Environment, that the Ministry of Environment and the Department of Fisheries and oceans have been notified of the development proposal, and provided with a copy of the assessment report prepared by a qualified environmental professional that meets the conditions in a), b), and c), or
 - A Department of Fisheries and Oceans authorization for the development

In order for the District to begin receiving notifications from the Ministry of Environment, the District must contact the Union of BC Municipalities and request an access password to the Ministry of Environment's Riparian Area Regulation notification System.

Section 8 of the Riparian Areas Regulation provides that if a local government has bylaws or permits that establish streamside protection and enhancement areas in accordance with the direction in section 6 of the Streamside Protection Regulation, on or before March 31, 2005, then that local government is deemed to have met the requirements of the Riparian Areas Regulation. However, if that local government wants to consider an amendment to those streamside protection and enhancement areas then they must follow the direction in the Riparian Areas Regulation.

4.2 PRELIMINARY CIVIL ENGINEERING - SCHEMATIC ASSESSMENT

Civil systems generally include water supply, sanitary sewer, storm drainage, site grading and finish surfaces. The information contained in this report is intended to assist in identifying the details for the project, to understand and appreciate what is essential and anticipated.

4.2.1 REGULATIONS AND STANDARDS

Civil systems will be designed in accordance with all authoritative and legislative codes, and standards adopted at the time of design by the various authorities having jurisdiction, including but not limited to the following:

The British Columbia Building Code - 1998

The British Columbia Plumbing Code -1998

District of Summerland Bylaw

American Water Works Association

4.2.2 WATER SUPPLY

There is no community water supply to the property. Memo received from Dave Hill with District of Summerland Public Works, dated April 4, 2008, has identified 3 onsite wells, as well as a large concrete flume that is used to supply raw water to the Trout Creek reservoir. The water is then treated for domestic and irrigation consumption from mid-April to mid-October. Between mid-October and mid-April, the winter pipeline supplies raw untreated water to the Trout Creek Reservoir for treatment and domestic consumption. It is recommended that this flume be fenced to prevent dumping and contamination.

The existing caretaker home is serviced from a shallow domestic water well. This well has a limited pumping capacity of 56 gallons per minute. The water from this well does not require treatment for domestic consumption.

Additionally, there are 2 emergency wells onsite and the Emergency Water Source for the District of Summerland, with a combined output of 790 gallons per minute (to be confirmed). The District of Summerland has a permit that allows the District to use these wells for up to 100 days per year. The April 4th Memo indicates that due to the Uranium content in the water, the District is required to follow operational guidelines, as imposed by Interior Health, when these wells are used. These guidelines include flushing, blending rates with Trout creek water, and testing procedures. The capacity of the wells and water quality will require additional testing to ensure adequate flow and water quality can be achieved for the intended use of the site.

A 150mm diameter combined water service would be dedicated for domestic and fire protection. A fire hydrant would be provided near the main entrance to the building for fire protection. The fire hydrant would be isolated from the distribution system by a gate valve for maintenance operations.

Valves will be configured to allow for the isolation of the building for maintenance. Where practical, valves will be located within the asphalt surfaces for ease of locating. The water main will be buried with a minimum 1.5m of cover to provide frost protection.

All piping and fittings would be to the District of Summerland and AWWA standards.

With water being a complicated and potentially expensive part of any major upgrades to the Rodeo Grounds, the potential scope and costs for water upgrades would need to be in place before any major projects would proceed.

4.2.3 SANITARY SEWER

There is currently no community sanitary sewer system on the property. The consultants would propose that sanitary sewer be collected and discharged to an onsite septic disposal field. Preliminary review of the soil on site indicates that the current soil conditions would be well suited for ground disposal of sanitary sewer flows. UV exposure treatment may also be required as dictated by design flows.

4.2.4 STORM DRAINAGE

There is no municipal storm drainage system in this area. The site will be graded to provide surface drainage away from the buildings and captured at catch basin locations. The catch basins will be in the landscaped and paved surface areas and will be connected to dry wells for onsite disposal. The system will drain the building perimeter foundation drain, roof drainage and surface drainage.

4.2.5 UTILITIES

The site is currently serviced with single phase overhead power, with an emergency 3 phase power to the emergency wells. 3 phase power grid upgrades will be required for water/sanitary treatment plants and for facilities developed on site. There is no Terasen Gas in the area, and it is not expected that a gas service will be brought to the site. Overhead telephone (TELUS) exists on the site and can be upgraded through application to TELUS. If cable service is required, application to Shaw Cable will be required to extend service to this location.

4.2.6 ROADWAYS

The site is accessed off Bathville Road, just south of the Kettle Valley Railway crossing. Bathville Road is a paved surface to the Kettle Valley Railway turnoff and no road upgrades are anticipated.

The driveway entrances have not yet been determined; however, it is expected that any new entrance will closely match the existing access point at the north end of the property. The driveway will consist of a structural subbase and possibly an asphalt surface. The driveway/entrance road will allow for emergency vehicles and large delivery vehicles. Parking requirements, as per local zoning requirements, will be incorporated into the site design.

All work and materials will be provided in accordance with the District of Summerland or Ministry of Transportation standards.

4.2.7 SITE GRADING

The site is basically flat with approximately four (4.0) meters of vertical drop from the northwest corner to the southeast corner of the Riparian setback area - a distance of nearly 500m. Excavated soil will be redistributed on site where possible. The site is not part of the flood plain, sitting approximately 5.0m above Trout Creek. Riparian setback areas have been identified as 10m back of existing bank.

5. OTHER COMMUNITIES

The consultants contacted several communities in British Columbia, and reviewed web pages involving communities in Alberta, Utah, and Montana to find information regarding facilities that might be like that proposed by the Rodeo Grounds Development Advisory Group. As one might expect, facilities of this type vary widely in terms of their size and amenities. We have mentioned a variety of facilities from throughout the province but at this time, with Summerland's population base and the type and use at the facility, it would be difficult to find the funding for the capital costs and operating costs for larger type facilities.

To provide the reader with two specific examples, a decision was made to focus on two existing facilities, both in northern British Columbia, that would at least provide information that might be of assistance to the District of Summerland in making a decision regarding potential involvement in this type of undertaking.

A summary of the information gathered from the two communities is presented below.

5.1 DISTRICT OF CHETWYND

The Pine Valley Exhibition Park (PVEP) is in the Rodeo Subdivision in Chetwynd. The facility has an indoor riding arena, a large hall, boarding for horses and cattle, and an outdoor rodeo ground. The facility is managed by a volunteer Board of Directors, with support from the District of Chetwynd and the Peace River Regional District.

The PVEP has a large lobby (capacity - 350 people), complete with a kitchen, and is "home" to the Chetwynd Air Cadets, and accommodates several dog obedience classes, weddings, family reunions and dances.

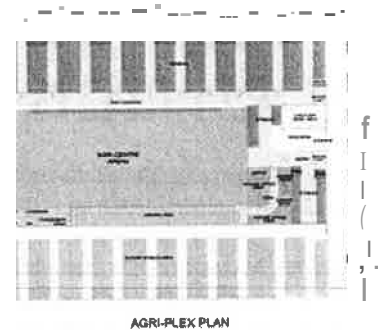
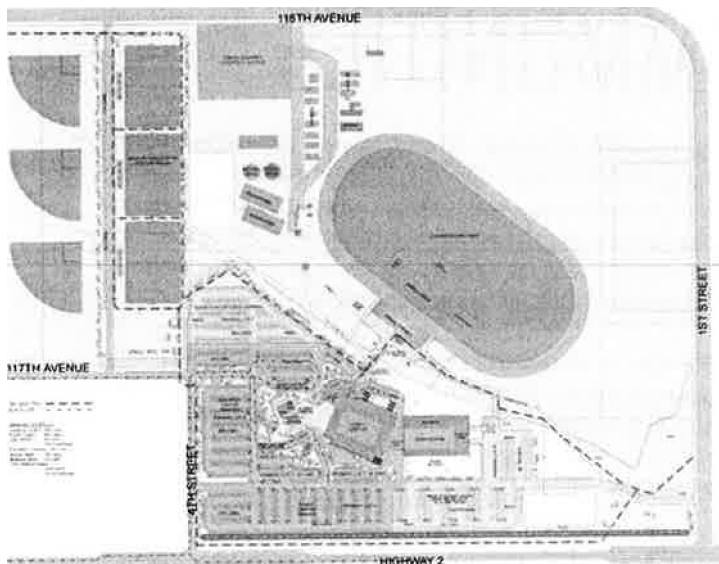
The heated indoor arena has bleacher seating for 550 people and is particularly busy during the winter months. It is open to anyone to ride during open riding hours.

The facility is open for use from 7:00 am to 10:00 pm weekdays, and until 11:00 pm on weekends.

The Society opened a new, free standing 21 stall barn in 2007. The stalls are 12' x 12' with rubber matting. Stalls can be rented by the day, week, or month, and are booked with the Society's caretaker. A small number of horse pens are also available.

The site also has an outdoor rodeo ground, which hosts summer gymkhana events. This facility has a racetrack, bleachers, and livestock pens.

Should Summerland determine that this type of facility would be a valuable asset to the community, one of the most important decisions would be to determine who will be responsible for the day-to-day operation of the facility. In Chetwynd's case, a written agreement is in place that these activities are the responsibility of the local Society. However, it appears that major structural and mechanical concerns - and snow removal - are addressed



Above: South Peace Multiplex Dawson creek, BC Facility Site Plan with images of the Aquatic Centre and Lakota Indoor Arena.
<http://www.southpeacemultiplex.com/about/index.htm>

by the District. This appears to be a common system for operating this type of facility and places a great deal of responsibility on local volunteers, and on a full-time caretaker.

It is the consultants' understanding that the original building, constructed over 20 years ago, involved the financial commitment from the District, but that the new barn (described above) was entirely the responsibility of the Society.

5.2 CITY OF CHILLIWACK

Heritage Park in Chilliwack was officially opened in 2001 and is owned by the City of Chilliwack and operated by the Chilliwack Arts Council under a five-year lease with the city. Two other facilities, the Atchelitz Threshman's Museum, and the Chilliwack Tourist Information office, are also located on the grounds.

The Heritage Park facility consists of a 150,000 sq.ft. building and a seven-acre field for outdoor concerts and festivals, as well! as camping. A 5/8-mile racetrack and rodeo arena play host to chuck wagon and chariot racing and rodeos, and Heritage Park is home of the annual Chilliwack Exhibition.

Heritage Park has developed several sponsorship arrangements with companies related to the activities presented at the park. Kubota provides a tractor for use at the facility in return for naming rights to the main arena, and the Mertin General Motors dealership provides a large van in exchange for sign advertising.

A number of local organizations are regular users of the facilities. These groups include a radio-controlled car club, a radio-controlled aircraft club, a dressage club, a pony club, a 4H club, riding club and a trotter club.

Most of the uses of the facilities are special event related. Approximately 70 events are held each year, involving 50 weekends. Half of the events involve animals or agriculture, the largest of which is the annual Chilliwack Exhibition presented by the Chilliwack Agriculture Association. Other major events include First Nation Pow Wows, concerts and raves, car shows, motor cross activities and trade shows.

Heritage Park events draw approximately 250,000 site visits per year. A number of events are local, and attract visitors from the immediate area, but most are regional or provincial in nature, and bring people to Chilliwack from greater distances. While it has never been measured, it is management's opinion that about one-half of all patrons are residents of Chilliwack, and the other half are from outside the city's boundaries.

The operating budget is approximately \$600,000, with revenue (including a \$190,000 grant from the city) amounting to \$655,000. The city and the Arts Council share equally in the annual profit.

5.3 CITY OF DAWSON CREEK

The City of Dawson Creek recently opened a new recreation complex, including three distinct facilities: a 25-meter indoor aquatic center, with a variety of leisure features; a 6,000 seat multi-purpose arena and event center, and the 120' x 250' Lakota center.

The latter includes a dirt floor riding surface, a large wash stall capacity for horses and cattle, seating for 350 people, public washrooms, 100 stalls in Phase one (and an additional 100 stalls in Phase 2), outside paddocks and dedicated truck and livestock rig parking. The facility is suitable for equestrian, rodeo, and livestock events, and can be used in conjunction with the adjacent event center.

While the pool and event center are operated by the city and a private contractor, the Lakota Centre is managed and operated, like the PVEP, by a volunteer Society, through a Board of Directors that includes a staff representative from the city, as well as an elected official. Like Chetwynd, the Society is responsible for day-to-day activities, while the city is responsible for mechanical and structural concerns.

In Dawson creek, this type of operating arrangement has a lengthy history. In 1991, the city turned over the operation of an older facility of this type to the Society, and the arrangement has worked well ever since. As with Chetwynd, this means that essentially all operating costs - and revenues - are taken care of by the Society.

The overall multiplex (i.e., all three facilities) was built following the approval of a significant referendum by Dawson Creek residents. As a result, construction costs were not the responsibility of the Society.

5.4 CITY OF SURREY

The Cloverdale Rodeo and Exhibition Fairgrounds are owned by the City of Surrey and operated by the Lower Fraser Valley Agriculture Association.

The Fairgrounds include a variety of buildings and venues. The Agriplex includes a 22,450 sq.ft. arena with a dirt floor, seating for 1,500 people, a concession and rest rooms. The Alice McKay Building is a 5,100 sq.ft. building with a banquet capacity of 350 people and bleacher seating for 750. The Amphitheatre is an outdoor venue with a covered stage area.

Shannon Hall is a 7,000 sq.ft. facility that can accommodate 480 people for a banquet or theatre style seating for 750 people. It has hardwood floors and includes a concession, bar, and kitchen facilities.

The show Barn is an 18,000 sq.ft. building with an asphalt floor. It includes a show office and concession and can house 89 portable horse stalls. Banquet seating can accommodate 750 people and theatre style seating can accommodate 900 people. The Stetson Bowls is a 36,400 sq.ft. outdoor facility with sand footing. It includes covered seating for 4,000 people with portable bleacher seating for another 800.

The Fairgrounds host approximately 300 events per year over 1,000 event days, with numerous events occurring at the same time in different areas on the grounds. The types of events that can be accommodated include the annual Cloverdale Rodeo and County Fair, Cloverdale's week Flea Market, horse and dog shows, car and collector shows, weddings, dances, concerts, trade shows, boxing, wrestling, and swap meets.

Staff estimates an annual attendance of 700,000. Depending on the type of event, attendance may be local, regional, provincial, and even international. No breakdown of attendance is currently available.

The annual operating budget is typically more than \$2,000,000 with revenues exceeding that figure by 5% - 8% in a good year. Weather is a key factor, and in a bad year, the Association will typically break even. It should be noted that within the operating budget, the City of Surrey provides an annual operating grant of \$180,000.

It should be noted, also, that the site also includes the Cloverdale Racetrack, a new casino, a curling rink and the Cloverdale Area, the latter of which is operated by the city's Parks, Recreation and Culture Department.

5.5 TOWNSHIP OF LANGLEY

There are several equestrian facilities in the Township of Langley, all of which are privately owned. One of these, the Thunderbird Show Park, is a world-class facility, featuring three indoor show arenas and nine all weather rings.

Thunderbird hosts all breeds and disciplines, as well as numerous shows and agricultural events on a year-round basis.

Other amenities range in size and accommodation capacity, but offer related services for local riders, as well as those from other parts of British Columbia, Canada, and North America.

5.6 OTHER FACILITIES

Another facility that the District might wish to consider is located in Alex Fraser Park in Quesnel. This complex includes an outdoor rodeo stadium, with various boarding facilities and pens; and an indoor facility that is used much the same as those in Chetwynd and Dawson Creek.

Like the others, the facility is operated by a separate Society (the Alex Fraser Park Society), with an annual grant of \$25,000 from the city.

A business plan was completed several years ago that looked at the possibility of expanding and improving the facility to include a new indoor riding arena and spectator space. The Board of Directors determined that the plan was too ambitious (i.e., too expensive), and is currently in the process of fundraising to improve the existing building.

6. CONCLUSIONS / RECOMMENDATIONS

6.1 CONCLUSIONS

Based on the information gathered during the research phase component of the study, the consultants have reached the following conclusions.

- First and foremost, from the consultants' perspective, the Rodeo Grounds is currently classified as a municipal park. This suggests that as the site is improved, there should be a balance between structures, green areas, and natural areas, in order that the site can be a facility that is attractive to the majority of Summerland residents.
- At the present time, the greatest use of the site is related to the Kettle Valley Railroad, the Summerland Blues Festival, and activities related to horseback riding - all of these are important to Summerland residents and the local business community and attract tourist activity to the community. Each of them should be retained, and enhancements to the site should be undertaken to ensure its continued use for these purposes.

The Kettle Valley Railroad is Summerland's second largest tourist attraction. The operation is a challenging business, with significant costs related to operations, fuel, maintenance, and insurance. Any expansion of activities and facilities on the Rodeo Grounds should be designed to enhance the KVR's operations and not adversely affect current operations.

In fact, even modest improvements to the site should have a synergistic effect on each of the major users.

All the amenities mentioned in the report - the equestrian facilities, the KVR, tennis courts, and a community center - would "fit" on the site.

In the consultants' opinion, however, this might not be the ideal location for the tennis courts. In comparison with the present site, it seems that the courts would be too far from the downtown area, and be too expensive to build and operate - and to supervise. As noted earlier in the report, if it is necessary for the courts to be removed from their current location, other sites should be explored and evaluated.

A standalone community center could be problematic for similar reasons, at least in the immediate future.

The consultants support the following improvements to the site in the short term:

- o The use of the northeast corner of the site by the Kettle Valley Railway, as a staging area for the KVR train robberies. This is seen as a site use that will continue to be popular, and that will have little long-term impact on the Rodeo Grounds.
- o Improvements to the equestrian facilities to enhance the activities of the Bluegrass Society and similar events, as well as riding activities. These improvements would be modest, and include:
 - The repair or replacement of the roof of the concession building (cook shack) and an improved concession.
 - The provision of outdoor lighting.
 - Improvements to the existing bleachers.
 - Basic improvements to the camping area, including electrical outlets.
 - Basic improvements to existing seating.

The construction and operation of a permanent riding facility would require a feasibility study that would investigate, in detail, facilities in other communities, necessary amenities, potential use, as well as capital and operating costs - a much more detailed and expensive project than the current study. This is seen as a long-term initiative.

It would also be necessary to engage Summerland residents in a discussion of the site, and of the interest and need for this type of facility in the community.

It should be noted, also, that depending on the amount of use that the site will likely experience in future years, it will be necessary to take an in-depth look at existing and future service requirements, and their costs. This topic has been addressed in the report, but additional research may be necessary.

Any future development related to the KVR, or the riding facility should continue to emphasize partnerships between the District and the local organizations that will use the site. In this regard, the District should expect to cover some of the costs (much as it does at the present time), but local organizations should be prepared to assist through their voluntary activities, and to contribute financially, to some extent, to an agreed upon number of the on-site improvements.

6.1 RECOMMENDATIONS

The conclusions have led to the following recommendations related to the management of the rodeo Grounds.

RECOMMENDATIONS - RODEO GROUND IMPROVEMENTS

TIMEFRAME	DESCRIPTION
2009	Buildings <ul style="list-style-type: none">• Clubhouse roof• Cookhouse roof• Cook shack improvements
2010	Temporary Campground (Temporary Event Camping) <ul style="list-style-type: none">• Electrical upgrades• Water stations• Site grading
2011	Buildings <ul style="list-style-type: none">• Washroom and shower improvements
2012	Bleacher and Corral <ul style="list-style-type: none">• Bleacher upgrades & basic improvements to existing seating• Fencing and corral improvements
2013	Lighting <ul style="list-style-type: none">• Lighting improvements

The consultants have also identified a number of recommendations related to ongoing communication between the District and user groups.

RECOMMENDATIONS - COMMUNICATIONS

TIMEFRAME	DESCRIPTION
2008	<p>Kettle Valley Railway</p> <ul style="list-style-type: none"> ' Prepare written agreement related to the KVR's use of the northeast corner of the Rodeo Grounds for staging purposes. <p>Status of Site</p> <ul style="list-style-type: none"> ' Ensure awareness that the Rodeo Grounds is classified as a community park. <p>Meetings</p> <ul style="list-style-type: none"> ' Ensure that regular meetings are schedule involving the District and major site users / potential users.
2009 and beyond	<p>Future Use</p> <ul style="list-style-type: none"> ' Consider the preparation of an overall site plan for the Rodeo Grounds. 'Consider the completion of a feasibility study related to a comprehensive equestrian facility at the Rodeo Grounds.

In closing, the consultants would like to thank the District (Council and staff) for its patience while the study was being completed, as well as the various stakeholders, each of which provided valuable information related to the project. It is anticipated that some may have anticipated a more ambitious set of conclusions that would result in the development of a new facility in the short-term future. Instead, we have taken a more cautious approach, suggesting modest enhancements to the existing site, with a longer term look at a more comprehensive amenity. If the Council decides to follow this approach, we believe the results will be much more successful than if a leap were to be made into a larger, more costly facility.

END OF REPORT

APPENDIX 11
OVERALL COST ESTIMATE

Estimate of Probable Construction Costs

Summerland Rodeo Grounds Park

JULY 2024

ZONE	Description	Qty	Unit	Cost	Item Total	Subtotal
1	PRELIMINARY SITE IMPROVEMENTS					
1.1	New Well includes 8" dai. line and pump	1	ls	\$50,000.00	\$50,000.00	
1.2	Pole mounted transformer	1	ls	\$35,000.00	\$35,000.00	
1.3	Septic Upgrades	1	ls	\$50,000.00	\$50,000.00	
1.4	Roadway regrading	1	ls	\$45,000.00	\$45,000.00	
						\$180,000.00
2	MAIN ENTRY					
2.1	Main Entry Signage	1	ls	\$8,500.00	\$8,500.00	
2.2	Enhanced Trans Canada Trail Trailhead					
2.2.1	New Trail Map and Kiosk Signage	1	ls	\$9,500.00	\$9,500.00	
2.2.2	Benches	3	ea	\$3,000.00	\$9,000.00	
2.2.3	Bike repair station	1	ea	\$3,000.00	\$3,000.00	
2.2.4	Pit Toilet	1	ea	\$10,000.00	\$10,000.00	
2.2.5	Animal Resistant Garbage Bins	1	ea	\$4,500.00	\$4,500.00	
2.3	Main Entry Trail Head Parking +/- 30 stalls	1	ls	\$50,000.00	\$50,000.00	
2.4	Upgraded Garnett Valley Paddock					
2.4.1	Structural Review and Upgrades	1	ea	\$10,000.00	\$10,000.00	
2.4.2	Additional Parking +/- 10 stalls	1	ls	\$15,000.00	\$15,000.00	
2.4.3	Lockable Vehicular Gate	1	ls	\$2,500.00	\$2,500.00	
						\$122,000.00
3	CARETAKER / CAMPING					
3.1	Equine Camping - Small Vehicle/ Backcountry	10	ea	\$1,750.00	\$17,500.00	
3.2	Equine Camping - Large / Backcountry	3	ea	\$2,500.00	\$7,500.00	
3.3	Horse Camping Stables/ hitching posts	13	ea	\$1,750.00	\$22,750.00	
						\$47,750.00
4	EQUESTRAIN FACILITIES					
4.1	Demolition of Southern Bleachers and Cook Shack	1	ls	\$30,000.00	\$30,000.00	
4.2	Repairs to North Bleachers	1	ls	\$12,500.00	\$12,500.00	
4.3	Clubhouse Improvements					
4.3.1	Structural review and repair to interior walls	1	ls	\$20,000.00	\$20,000.00	
4.3.2	New viewing deck / patio space	1	ls	\$25,000.00	\$25,000.00	
4.3.3	New storage barn	2	ea	\$15,000.00	\$30,000.00	
4.4	New Cook Shack/ Concession	1	ea	\$65,000.00	\$65,000.00	
4.5	Arena Footing improvements					
4.5.1	Removal of old footing to bedrock	1	l.s	\$38,500.00	\$38,500.00	
4.5.2	150mm - 19mm (3/4" compacted base)	1,050	cu.m	\$50.00	\$52,500.00	
4.5.3	20mm bedding sand footing	175	cu.m	\$75.00	\$13,125.00	
4.6	New Bleachers					
4.5.1	Aluminum 5 tier - 40 seats	2	ea	\$6,500.00	\$13,000.00	
4.5.2	Aluminum Grandstand Bleacher- 200 seats with shade structure	1	ea	\$200,000.00	\$200,000.00	
4.7	60' Circular Horse Pen	1	ea	\$4,500.00	\$4,500.00	
4.8	New Horse Shelter & Storage	2	ea	\$15,000.00	\$30,000.00	
4.9	New Manure and Compost bins	2	ea	\$1,500.00	\$3,000.00	
4.10	Lighting / Security Upgrades	1	ls	\$15,000.00	\$15,000.00	
						\$552,125.00

Estimate of Probable Construction Costs

Summerland Rodeo Grounds Park

JULY 2024

ZONE	Description	Qty	Unit	Cost	Item Total	Subtotal
5	TRAILS AND OPEN SPACE					
5.1	Proposed New Trails					
5.1.1	Passive Trail Connectors	350	l.m	\$25.00	\$8,750.00	
5.1.2	Cross Country Course Loop	300	l.m	\$35.00	\$10,500.00	
5.1.3	Mountain Trail Challenge Course	250	l.m	\$35.00	\$8,750.00	
5.2	Trail signage	1	l.s	\$7,500.00	\$7,500.00	
5.3	Benches	4	ea	\$3,000.00	\$12,000.00	
5.4	Animal Resistant Garbage Bins	3	ea	\$4,500.00	\$13,500.00	
						\$61,000.00
6	MOUNTAIN BIKE SKILLS COURSE					
6.1	Proposed Bike Trails	300	l.m	\$25.00	\$7,500.00	
6.2	Split Rail Fence	350	l.m	\$35.00	\$12,250.00	
6.3	Signage	1	l.s	\$2,000.00	\$2,000.00	
						\$21,750.00
7	Multi-Use Area (TBD)					
					\$0.00	
						\$0.00
					Subtotal	\$984,625.00
	Soft Costs- Surveys, Investigations, Permitting (20%)					\$196,925.00
	Operations and Maintenance (10%)					\$98,462.50
	Contingency (30%)					\$295,387.50
	TOTAL COSTS					\$1,575,400.00

The above items, amounts, quantities, and related information are based on Ecora's judgment at this level of document preparation and is offered only as reference data. Ecora has no control over construction quantities, costs and related factors affecting costs, and advises the client that significant variation may occur between this estimate of probable construction costs and actual construction prices.