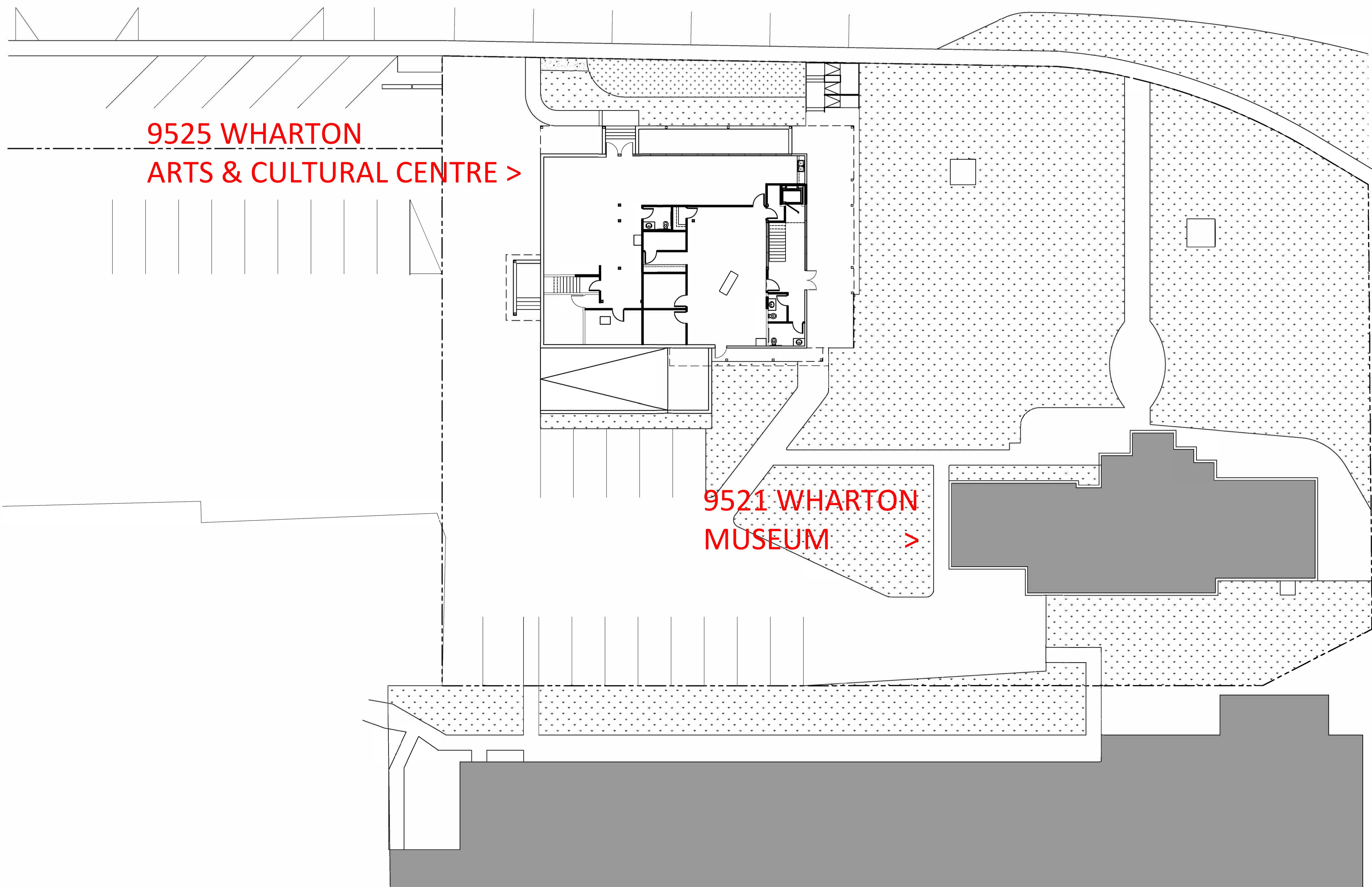


# SITE PLAN CULTURAL HUB



# Summerland Electrical service 9525 Wharton



Summerland Museum and Arts & Cultural Centre

Summerland Museum and Arts & Cultural Centre campus lighting at night



View to downtown at Wharton roundabout



Museum poorly lit- name not lit



Sculpture not lit



Sculpture by tree to be electrified spring 2018



Approach to Arts & Cultural Centre



View to entrance of Museum

## Summerland Museum and Arts & Cultural Centre



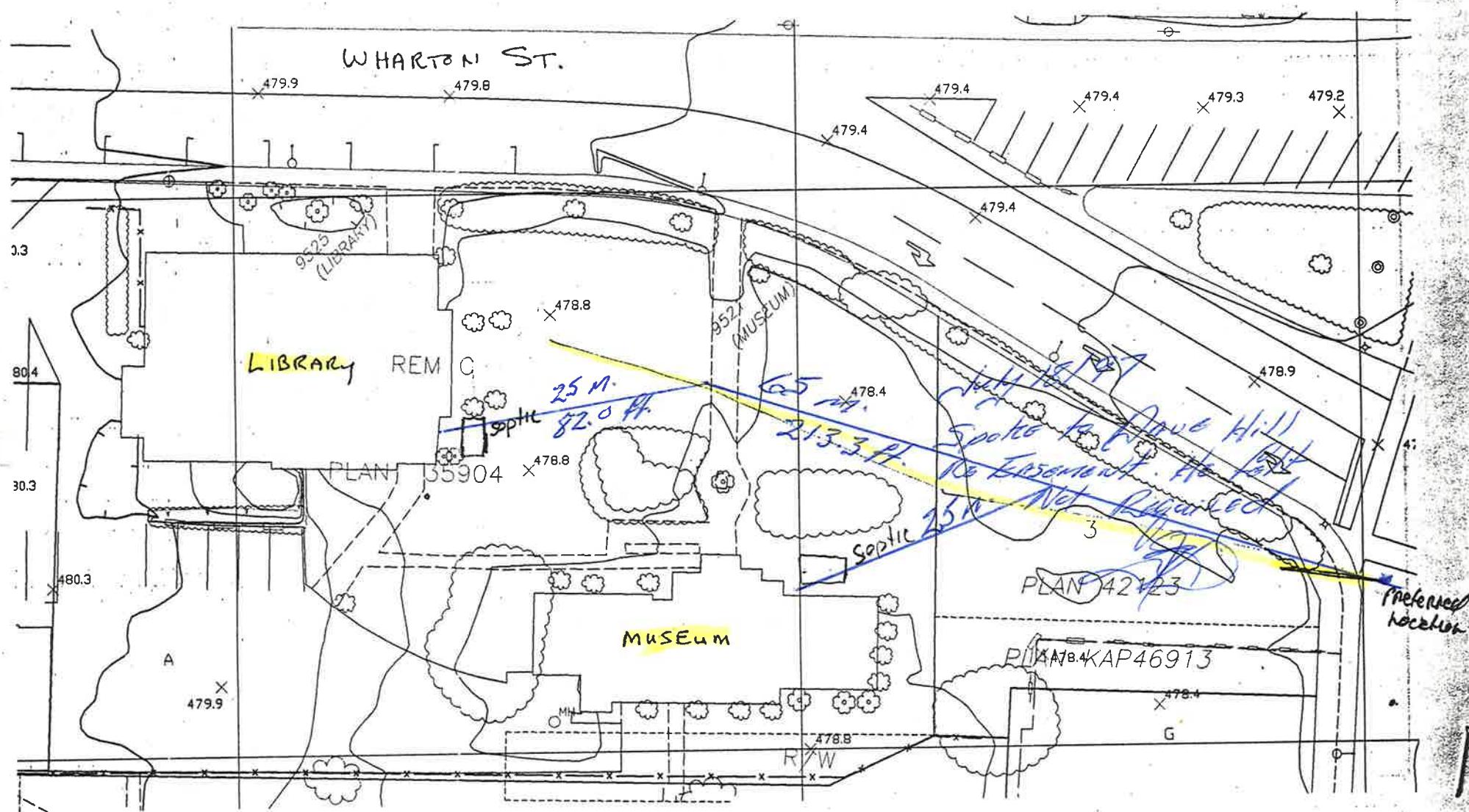
Arts & Cultural Centre used at night



Main floor used for dog obedience training



Access ramp and bus stop to be moved



MUSEUM

MENS	1 Toilet	4	LADIES	1 Toilet	4
	1 VAN.	<u>1 1/4</u>		1 VAN	<u>1 1/4</u>
		5.25.			5.25

1 K.Sink 1 1/2 = <sup>Total</sup> 12 Fix Units

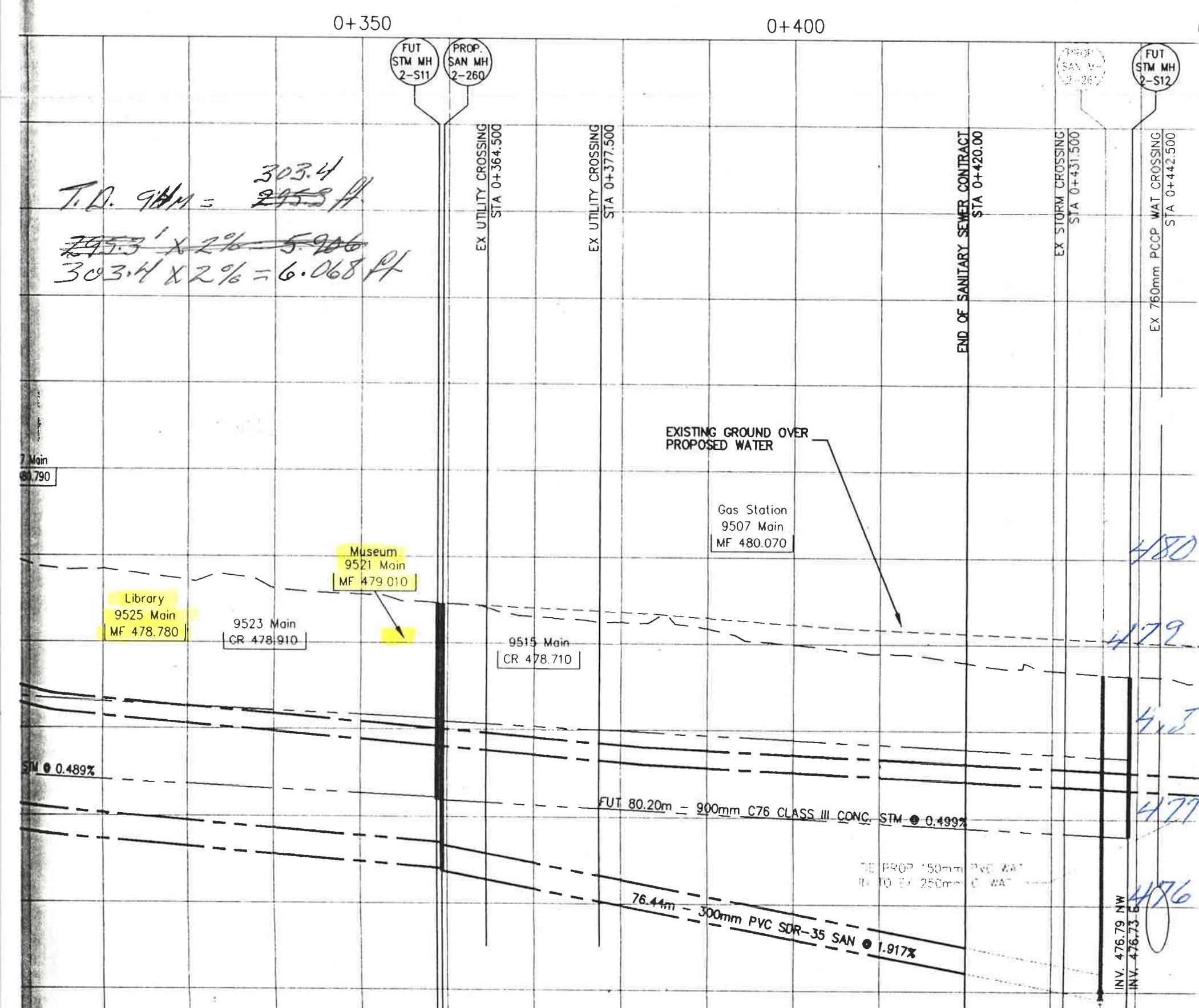
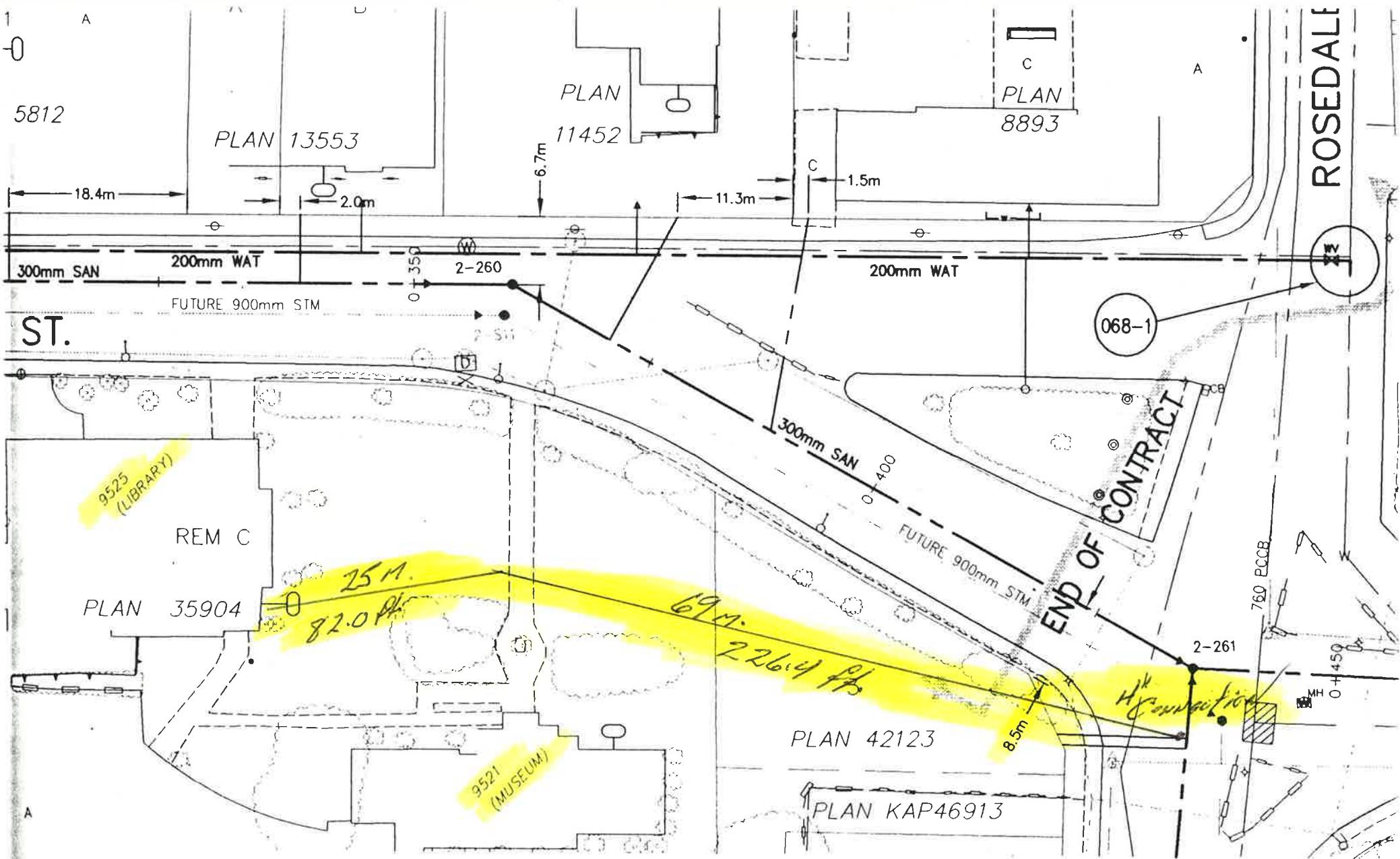
Library

Top Floor	1 Toilet	4	LADIES	MENS
	1 VAN.	<u>1 1/4</u>	1 Toilet	1 Toilet
			1 VAN	1 VAN
			<u>1 1/4</u>	<u>1 1/4</u>

Bottom Floor	1 K.Sink	1 1/2	LADIES	MENS
			1 Toilet	1 Toilet
			1 VAN	1 VAN
			<u>1 1/4</u>	<u>1 1/4</u>
			6.75	10 1/2
				10 1/2

Total 27.75 Fix Units  
 $\frac{12.00}{39.75}$  Fix Units.

4" Service.



## DISTRICT OF SUMMERLAND

## UTILITY SERVICE RECORD

ADDRESS		LEGAL DESCRIPTION		
SUBDIVISION NAME:	WHARTON ST.	BLOCK NUMBER:	DIST. LOT NUMBER:	
STREET NAME:		PLAN NUMBER:	35904	
HOUSE NUMBER:	(9521) - MUSEUM	LOT NUMBER:	REM C	
ADMINISTRATION	WATER	SANITARY	STORM	
DATE ISSUED:	IS MAIN/SERVICE IN STATUTORY R/W?	IS MAIN/SERVICE IN STATUTORY R/W?	IS MAIN/SERVICE IN STATUTORY R/W?	
DATE CONNECTED:	MAIN-YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> / SERVICE-YES <input type="checkbox"/> NO <input type="checkbox"/>	MAIN-YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> / SERVICE-YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	MAIN-YES <input type="checkbox"/> NO <input type="checkbox"/> / SERVICE-YES <input type="checkbox"/> NO <input type="checkbox"/>	
CHARGE:	IS SERVICE A FIRELINE? YES <input type="checkbox"/> NO <input type="checkbox"/>	IS AN I.C. INSTALLED? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	IS AN I.C. INSTALLED? YES <input type="checkbox"/> NO <input type="checkbox"/>	
RECEIPT NUMBER:		FITTING TYPE AT MAIN: WYE	FITTING TYPE AT MAIN:	
FIRM NAME: URBAN SYSTEMS LTD.	INSTALLATION DATE: (YYYY-MM-DD)	INSTALLATION DATE: (YYYY-MM-DD)	INSTALLATION DATE: (YYYY-MM-DD)	
ENTERED BY: KB	19 - -	19 98 - 06 - 18	19	- -
(INITIALS ONLY - PLEASE PRINT)	MAIN TYPE:	MAIN TYPE: PVC SDR 35	MAIN TYPE:	
<b>CONNECTION TYPE</b>	MAIN SIZE? mm DIA.	MAIN SIZE: 375 mm DIA.	MAIN SIZE: mm DIA.	
PLEASE CIRCLE RELEVANT CONDITION	SERVICE TYPE:	SERVICE TYPE: PVC SDR 28	SERVICE TYPE:	
WATER NEW CONNECTION	SERVICE SIZE: mm DIA.	SERVICE SIZE: 100 mm DIA.	SERVICE SIZE: mm DIA.	
RENEWAL DISCONNECT	STOP LOCATION FROM PROP.: m	DIST. FROM I.C. TO MAIN: 12.82 m	DIST. FROM PROPERTY LINE TO MAIN: m	
SANITARY: NEW CONNECTION	PROPERTY LINE TO MAIN: m	MAIN DEPTH: 4.012 m	MAIN DEPTH: m	
RENEWAL DISCONNECT	MAIN DEPTH: m	MAIN INVERT ELEVATION: 474.766 m	MAIN INVERT ELEVATION: m	
STORM: NEW CONNECTION	SERVICE LOCATION AT PROP.: (I.E. 3.0m E of NWIP) m of I.P.	SERVICE DEPTH AT PROP.: 2.560 m	SERVICE DEPTH AT PROP.: m	
RENEWAL DISCONNECT	NOTES	SERVICE INVERT ELEV. AT PROP.: 475.890 m	SERVICE INVERT ELEV. AT PROP.: m	
ALL DIMENSIONS TO BE IN METRES REVISION DATE: 1996-02-23	DIST. FROM M.H. TO FITTING: 4.14 m	m		
	DIRECTION FITTING IS FROM M.H. 3-261: (CHECK RELEVANT BOX)	DIRECTION FITTING IS FROM M.H.: (CHECK RELEVANT BOX)		
	UPSTREAM <input checked="" type="checkbox"/> DOWNSTREAM <input type="checkbox"/> M.H. <input type="checkbox"/>	UPSTREAM <input type="checkbox"/> DOWNSTREAM <input type="checkbox"/> M.H. <input type="checkbox"/>		
	SERVICE LOCATION AT PROP.: (I.E. 3.0m E of NWIP) 9.34 m S of NE I.P.	SERVICE LOCATION AT PROP.: (I.E. 3.0m E of NWIP) m of I.P.		
	REMARKS: SHARES IC WITH LIBRARY	REMARKS:		

## DISTRICT OF SUMMERLAND

**UTILITY SERVICE RECORD**

ADDRESS		LEGAL DESCRIPTION			
SUBDIVISION NAME:	WHARTON ST.	BLOCK NUMBER:	35904	DIST. LOT NUMBER:	
STREET NAME:		PLAN NUMBER:		LOT NUMBER:	REM C
HOUSE NUMBER:	(9525) - LIBRARY				
ADMINISTRATION	WATER	SANITARY		STORM	
DATE ISSUED:	IS MAIN/SERVICE IN STATUTORY R/W?	IS MAIN/SERVICE IN STATUTORY R/W?		IS MAIN/SERVICE IN STATUTORY R/W?	
DATE CONNECTED:	MAIN-YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> / SERVICE-YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	MAIN-YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> / SERVICE-YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>		MAIN-YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> / SERVICE-YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	
CHARGE:	IS SERVICE A FIRELINE? YES <input type="checkbox"/> NO <input type="checkbox"/>	IS AN I.C. INSTALLED? YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>		IS AN I.C. INSTALLED? YES <input type="checkbox"/> NO <input type="checkbox"/>	
RECEIPT NUMBER:		FITTING TYPE AT MAIN: WYE		FITTING TYPE AT MAIN:	
FIRM NAME: URBAN SYSTEMS LTD.	INSTALLATION DATE: (YYYY-MM-DD)	INSTALLATION DATE: (YYYY-MM-DD)		INSTALLATION DATE: (YYYY-MM-DD)	
ENTERED BY: KB	19 - -	19 98	- 06	- 18	19 - -
(INITIALS ONLY - PLEASE PRINT)	MAIN TYPE: _____	MAIN TYPE: PVC SDR 35		MAIN TYPE: _____	
CONNECTION TYPE	MAIN SIZE? mm DIA. _____	MAIN SIZE: 375 Mm DIA. _____		MAIN SIZE: mm DIA. _____	
PLEASE CIRCLE RELEVANT CONDITION	SERVICE TYPE: _____	SERVICE TYPE: PVC SDR 28		SERVICE TYPE: _____	
WATER NEW CONNECTION RENEWAL DISCONNECT	SERVICE SIZE: mm DIA. _____ STOP LOCATION FROM PROP.: m	SERVICE SIZE: 100 mm DIA. DIST. FROM I.C. TO MAIN: 12.82 m		SERVICE SIZE: mm DIA. DIST. FROM PROPERTY LINE TO MAIN: m	
SANITARY: NEW CONNECTION RENEWAL DISCONNECT	PROPERTY LINE TO MAIN: m	MAIN DEPTH: 4.012 m		MAIN DEPTH: m	
STORM: NEW CONNECTION RENEWAL DISCONNECT	MAIN DEPTH: m	MAIN INVERT ELEVATION: 474.766 m		MAIN INVERT ELEVATION: m	
	SERVICE LOCATION AT PROP.: (I.E. 3.0m E of NWIP) m of I.P.	SERVICE DEPTH AT PROP.: 2.560 m		SERVICE DEPTH AT PROP.: m	
	NOTES	SERVICE INVERT ELEV. AT PROP.: 475.890 m		SERVICE INVERT ELEV. AT PROP.: m	
		DIST. FROM M.H. TO FITTING: 4.14 m		m	
ALL DIMENSIONS TO BE IN METRES REVISION DATE: 1996-02-23		DIRECTION FITTING IS FROM M.H. 3-261: (CHECK RELEVANT BOX) UPSTREAM <input checked="" type="checkbox"/> DOWNSTREAM <input type="checkbox"/> M.H. <input type="checkbox"/> SERVICE LOCATION AT PROP.: (I.E. 3.0m E of NWIP) 9.34 m S of NE I.P.		DIRECTION FITTING IS FROM M.H.: (CHECK RELEVANT BOX) UPSTREAM <input type="checkbox"/> DOWNSTREAM <input type="checkbox"/> M.H. <input type="checkbox"/> SERVICE LOCATION AT PROP.: (I.E. 3.0m E of NWIP) m of I.P.	
		REMARKS: SHARES IC WITH MUSEUM		REMARKS:	

6  
PLAN  
1772

PLAN-5297

PLAN 5812

PLAN 13553

951  
1  
PLAN  
11452

11

~~WHARTON~~ 300mm SW - STREET

KELLY AVE.

PLAN 41467

**EASEMENT**

9525  
LIBRARY

REM

100

27

PLAN 4

~~PLAN KAP4691~~

PLAN 31

三

11

11

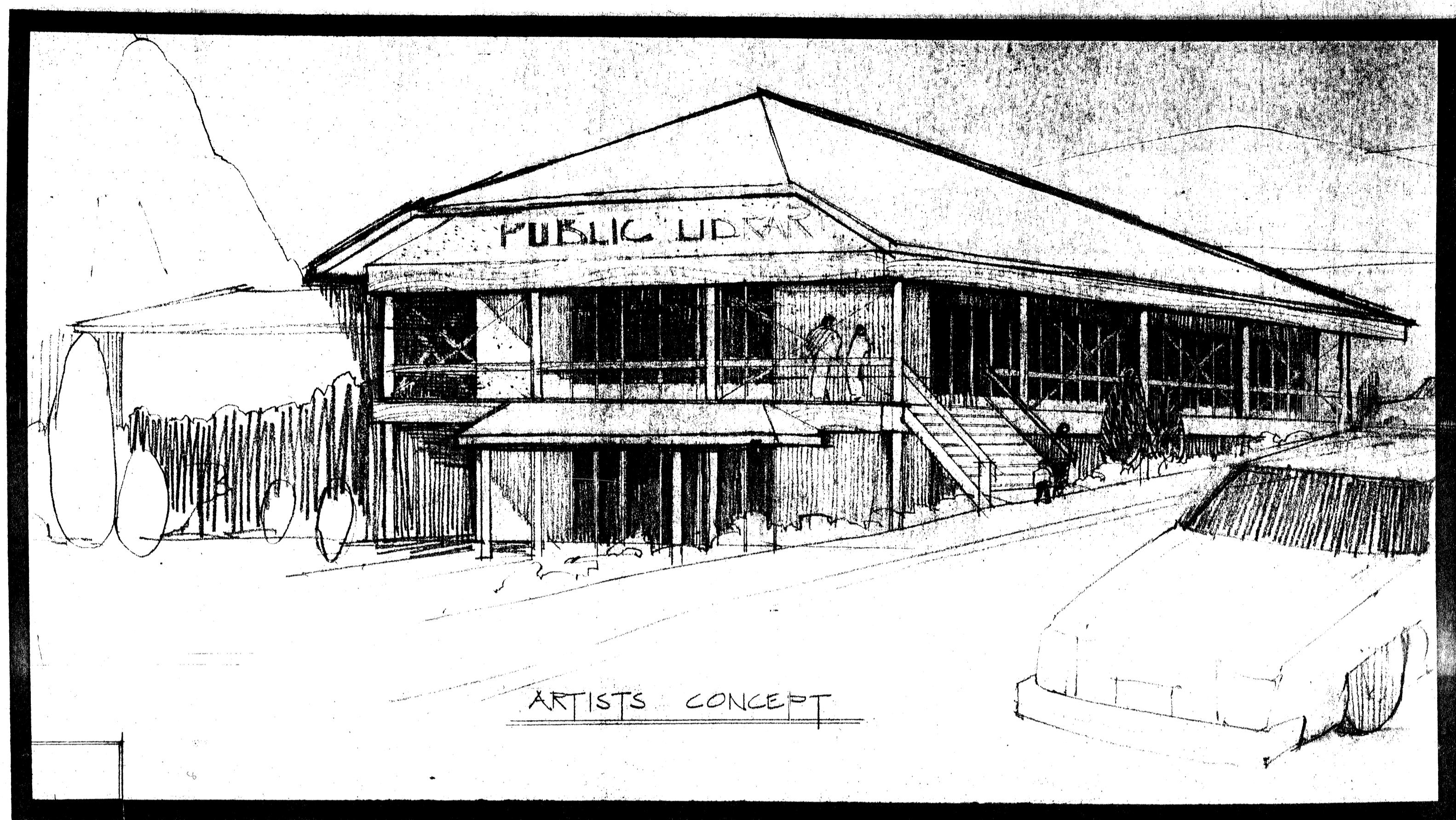
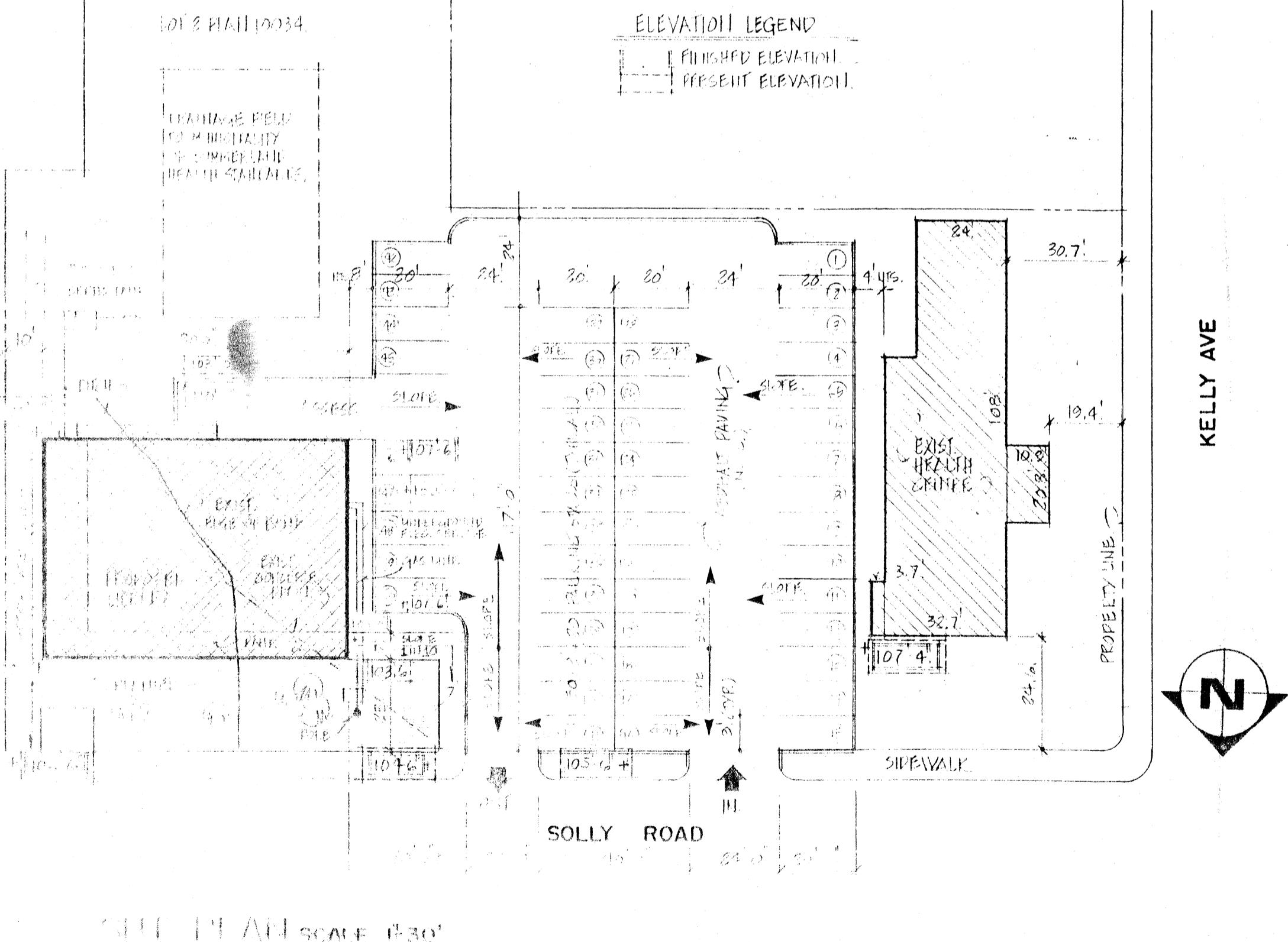
## LIBRARY/MUSEUM

1:1000

RE	BY	DATE

Library

16



#### DRAWING INDEX

- 1 SITE PLAN, PERSPECTIVE
- 2 LOWER FLOOR PLAN & FOUNDATION
- 3 UPPER FLOOR PLAN
- 4 ROOF FRAMING PLAN
- 5 SECTIONS
- 6 ELEVATIONS
- 7 ELEVATIONS
- 8 SECTION & DETAILS
- 9 STAIR SECTIONS & DETAILS
- 10 LOWER FLOOR REFLECTED CEILING PLAN
- 11 UPPER FLOOR REFLECTED CEILING PLAN
- 12 DETAILS
- 13 WINDOW DETAILS
- 14 FINISH SCHEDULES

JOHN W. REED  
ARCHITECTURE

1521 1/2 1/2 1/2  
CONTRACT

DATE: 1981 6 27 1981  
DEC 29 1981

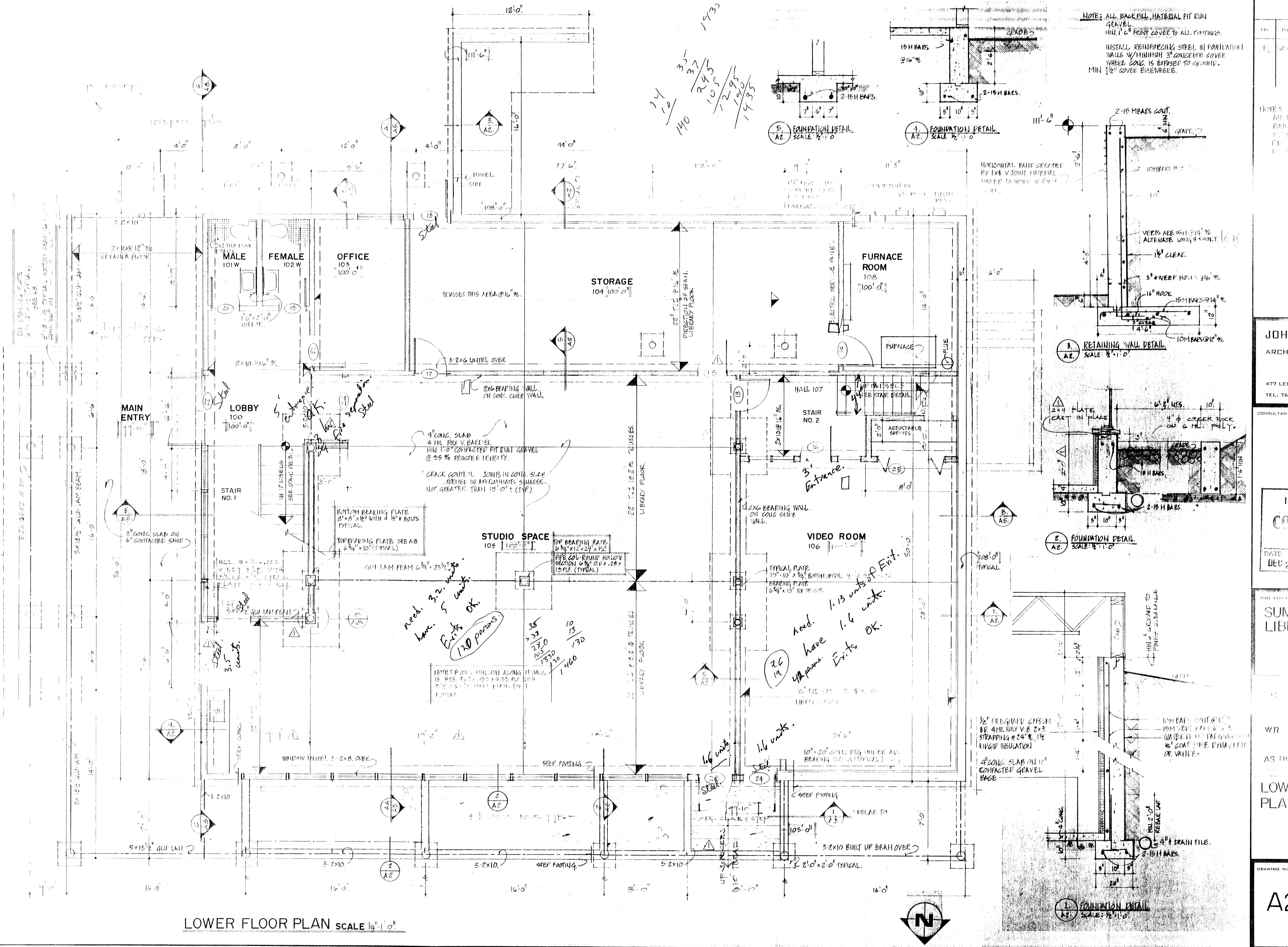
JOB TITLE: SUMMERLAND LIBRARY

JOB NO: 983  
DRAWN: GBA & WR  
SCALE: AS NOTED

REMOVED FROM PLATE

SITE PLAN

A1



JOHN WILHELM  
ARCHITECT

477 LEON AVENUE  
TEL. 762-2503

CONSULTANTS

ISSUED FOR  
CONTRACT  
DATE: DEC 29 1981

SUMMER LIBRARY

WR  
AS NOTED  
LOWER FLOOR  
PLAN

DRAWING NO.

A2

NOTE: ALL BACKFILL MATERIAL PIT RUN GRAVEL.  
MIN 1 1/2" POST COVER TO ALL Foundations.  
INSTALL REINFORCING STEEL IN FOUNDATION WALLS WITHIN 1 1/2" CONCRETE COVER WHERE COAL IS EXPOSED TO GROUND.  
MIN 1 1/2" COVER ELSEWHERE.

1. FOUNDATION DETAIL  
SCALE: 1:10

2. FOUNDATION DETAIL  
SCALE: 1:10

3. FOUNDATION DETAIL  
SCALE: 1:10

2. FOUNDATION DETAIL  
SCALE: 1:10

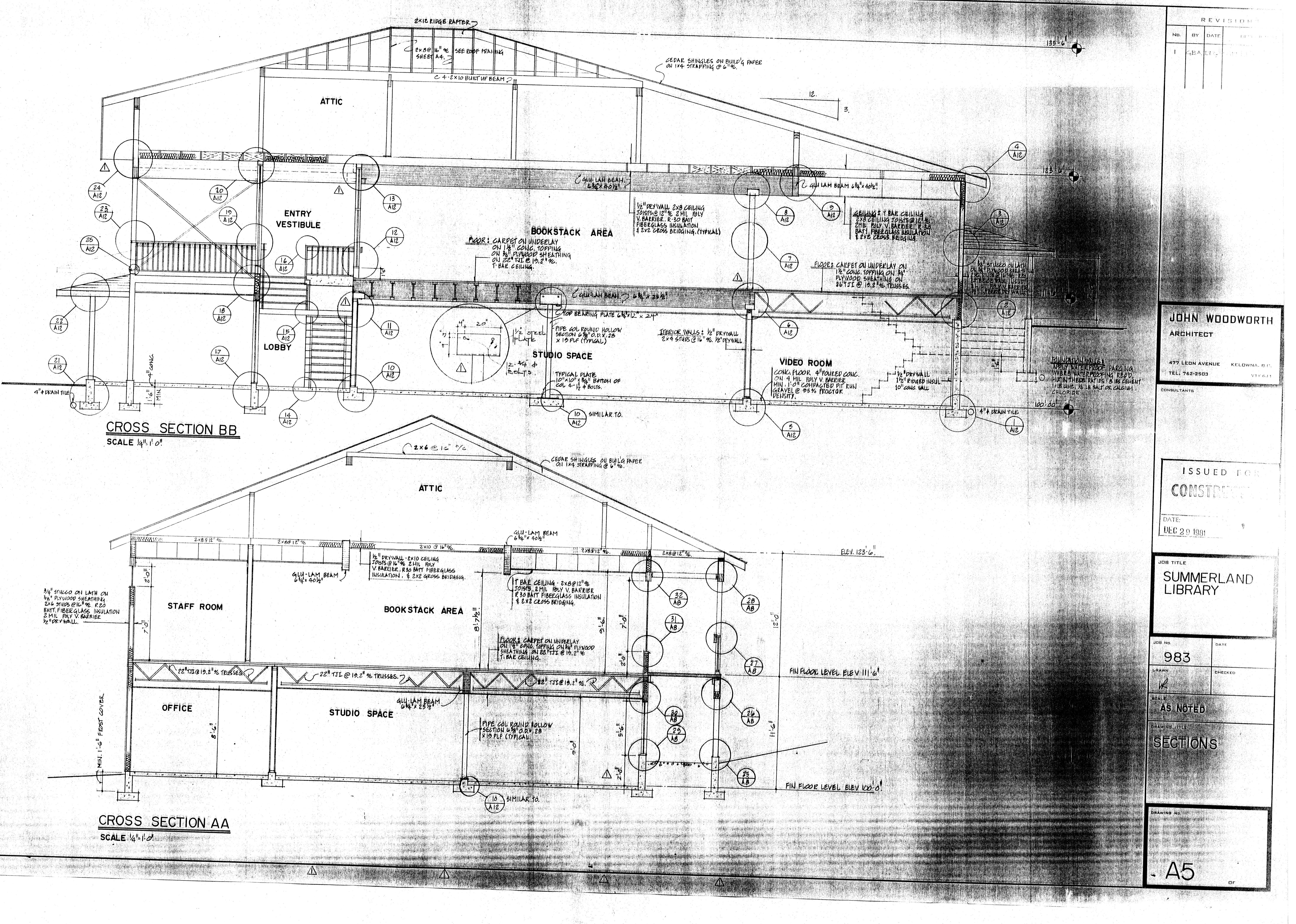
1. FOUNDATION DETAIL  
SCALE: 1:10

1. FOUNDATION DETAIL  
SCALE: 1:10

1. FOUNDATION DETAIL  
SCALE: 1:10









JOHN WOODWORTH  
ARCHITECT

477 LEON AVENUE  
TEL: 762-2503  
CONSULTANTS

ISSUED FOR  
CONSTRUCTION

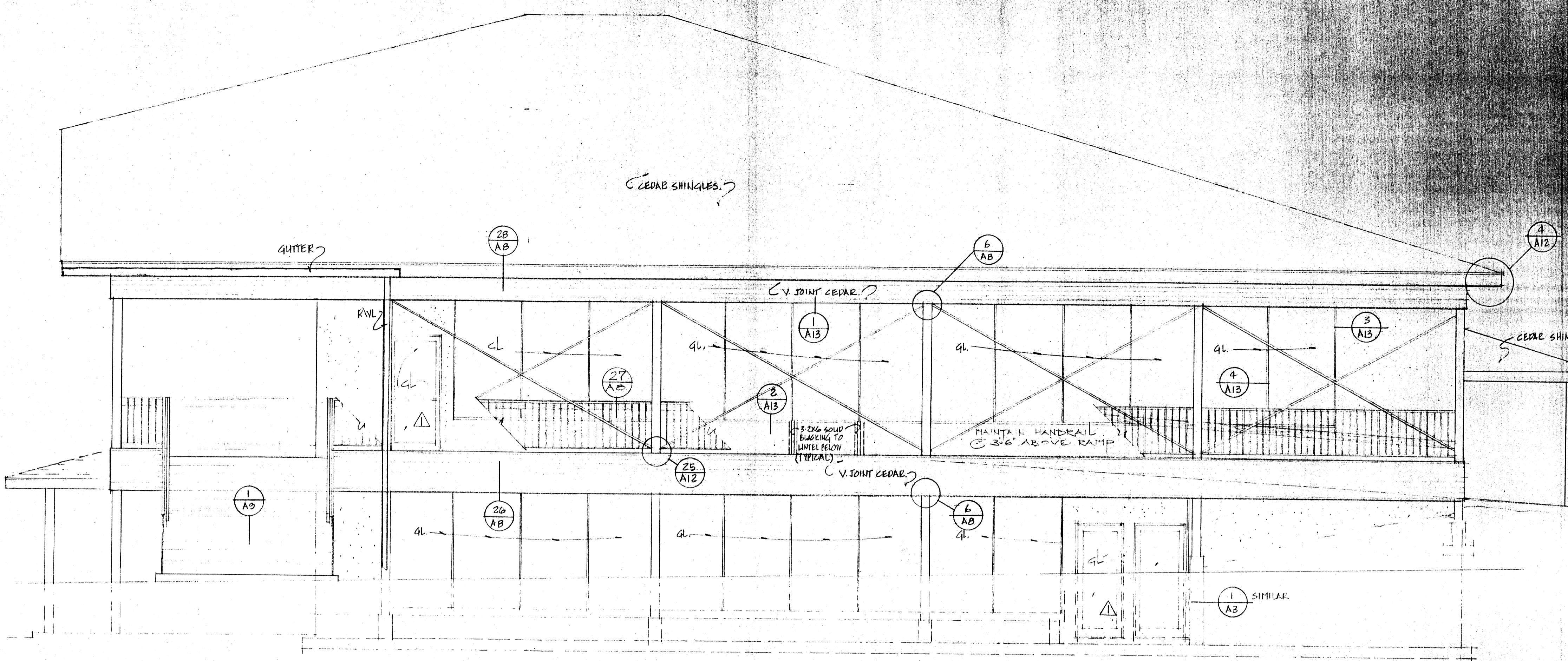
DATE: DEU 29 1981 | REVISION: 1

JOB TITLE:  
**SUMMERLAND  
LIBRARY**

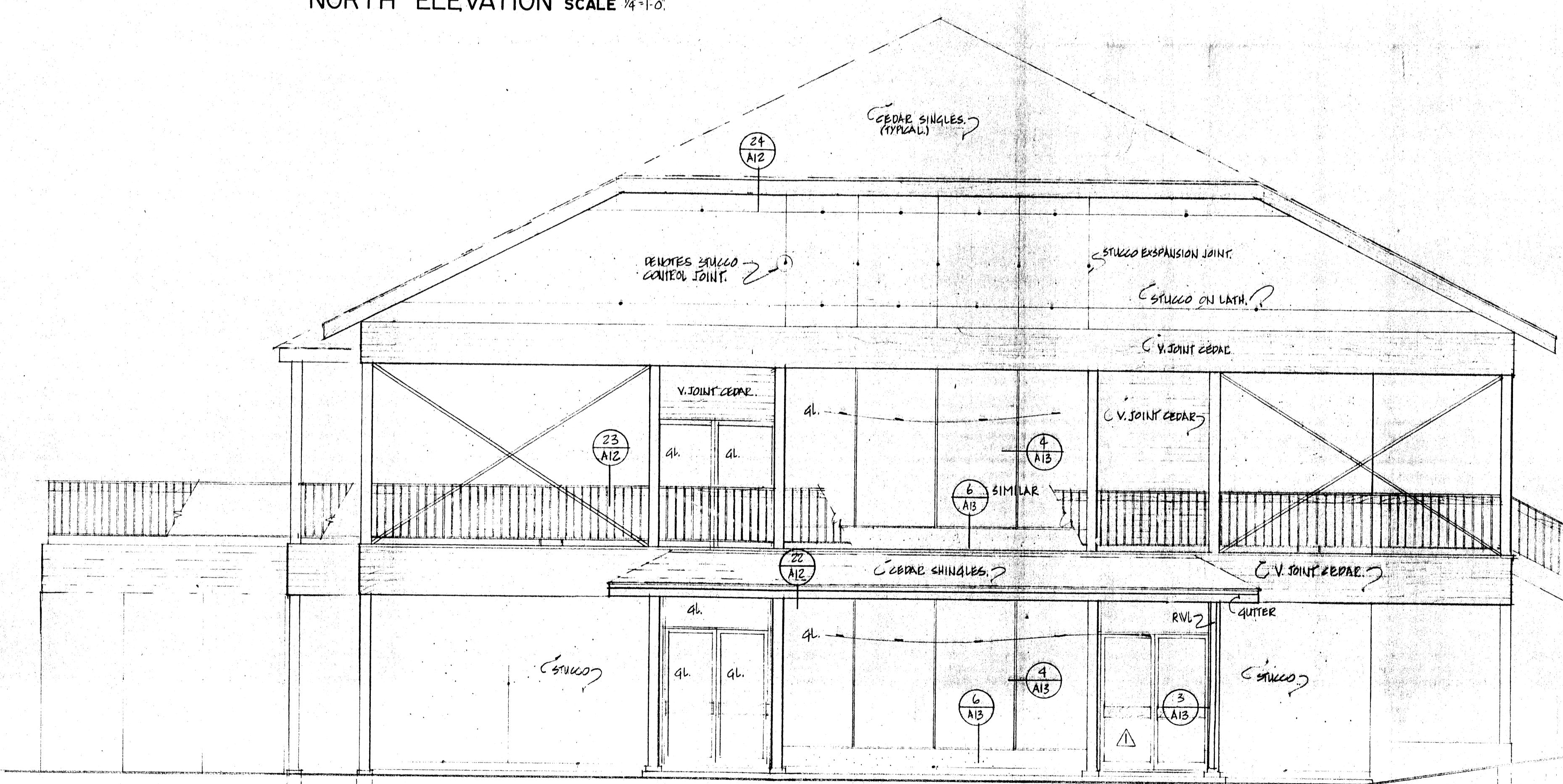
JOB NO. 983  
DRAWN WR  
SCALE AS NOTED  
DRAWING TITLE ELEVATIONS

DRAWING NO.

A6

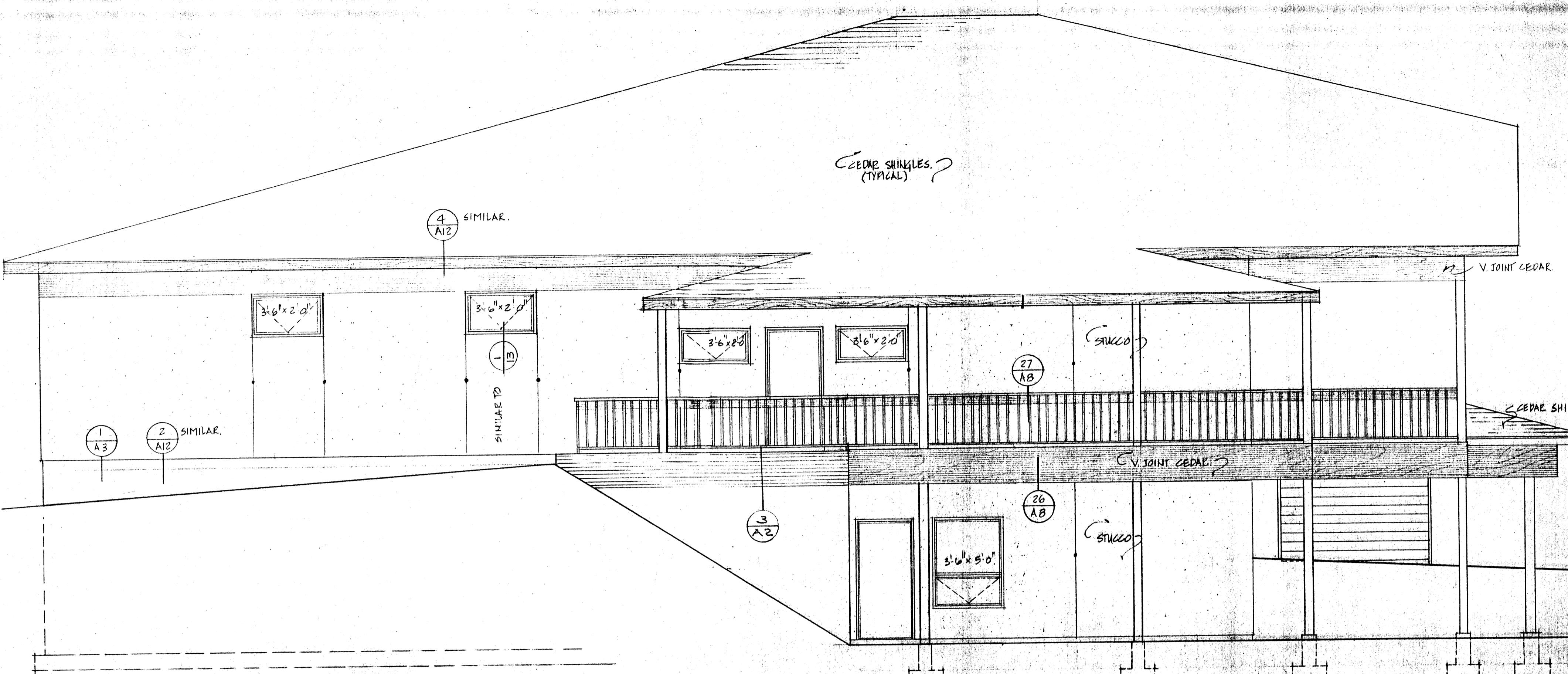


NORTH ELEVATION SCALE 1/4"-1'-0"

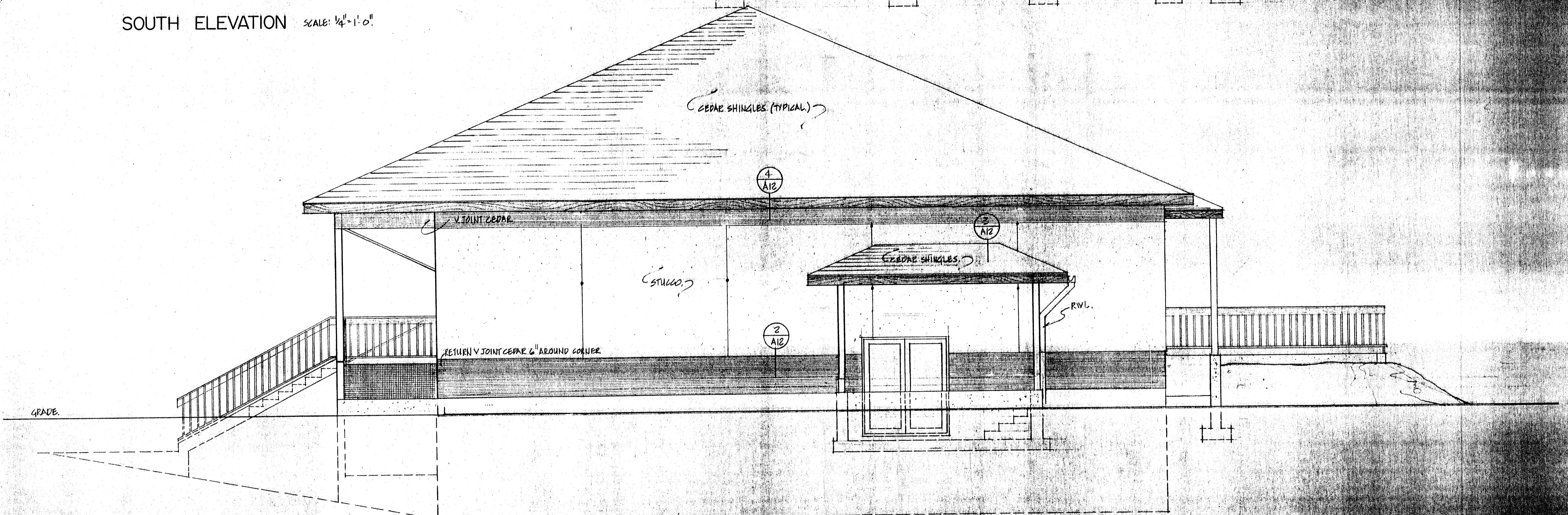


EAST ELEVATION SCALE 1/4"-1'-0"

REVISIONS			
NO.	BY	DATE	DESCRIPTION



SOUTH ELEVATION SCALE:  $\frac{1}{4}''=1'-0''$



WEST ELEVATION SCALE:  $\frac{1}{4}''=1'-0''$

JOHN WOODWORTH  
ARCHITECT

477 LEON AVENUE KELOWNA, B.C.  
TELE: 752-2503 VI 6J4

CONSULTANTS

ISSUED FOR  
CONSTRUCTION

DATE: DEC 29 1981 REVERSED

JOB TITLE:  
SUMMERLAND  
LIBRARY

JOB NO.: 983 DATE:

DRAWN:

WR

SCALE:

AS NOTED

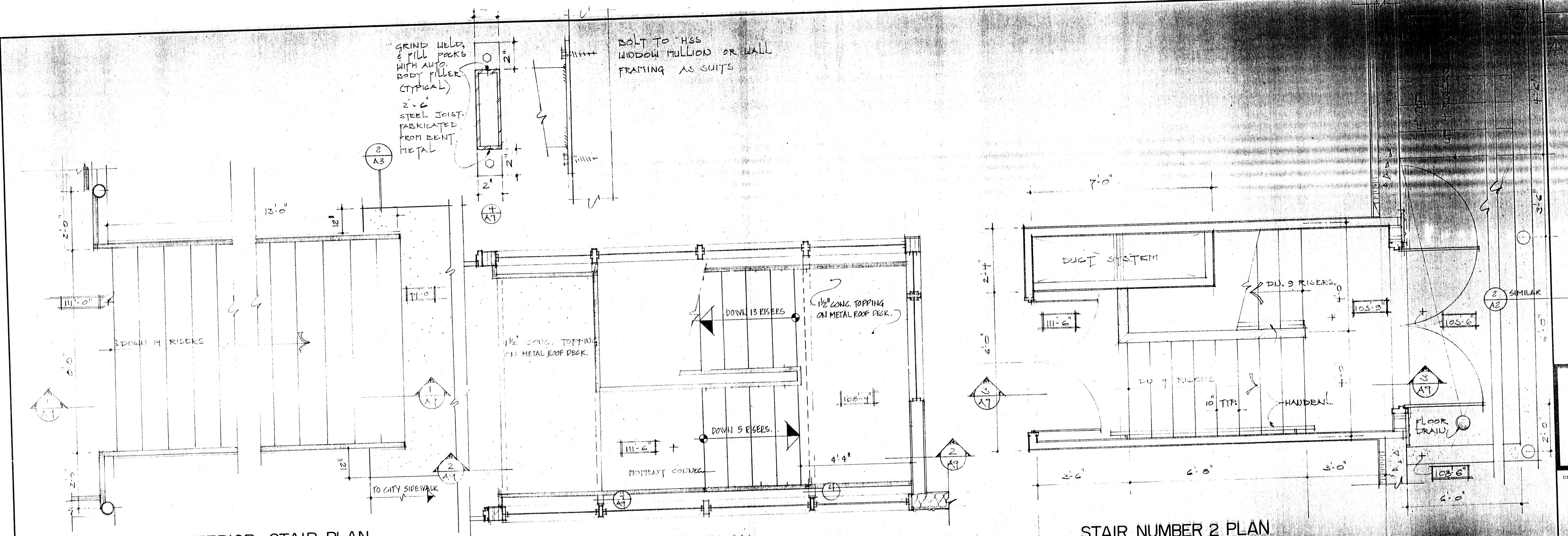
DRAWING TITLE:  
ELEVATIONS

DRAWING NO.:

A7

DP





EXTERIOR STAIR PLAN

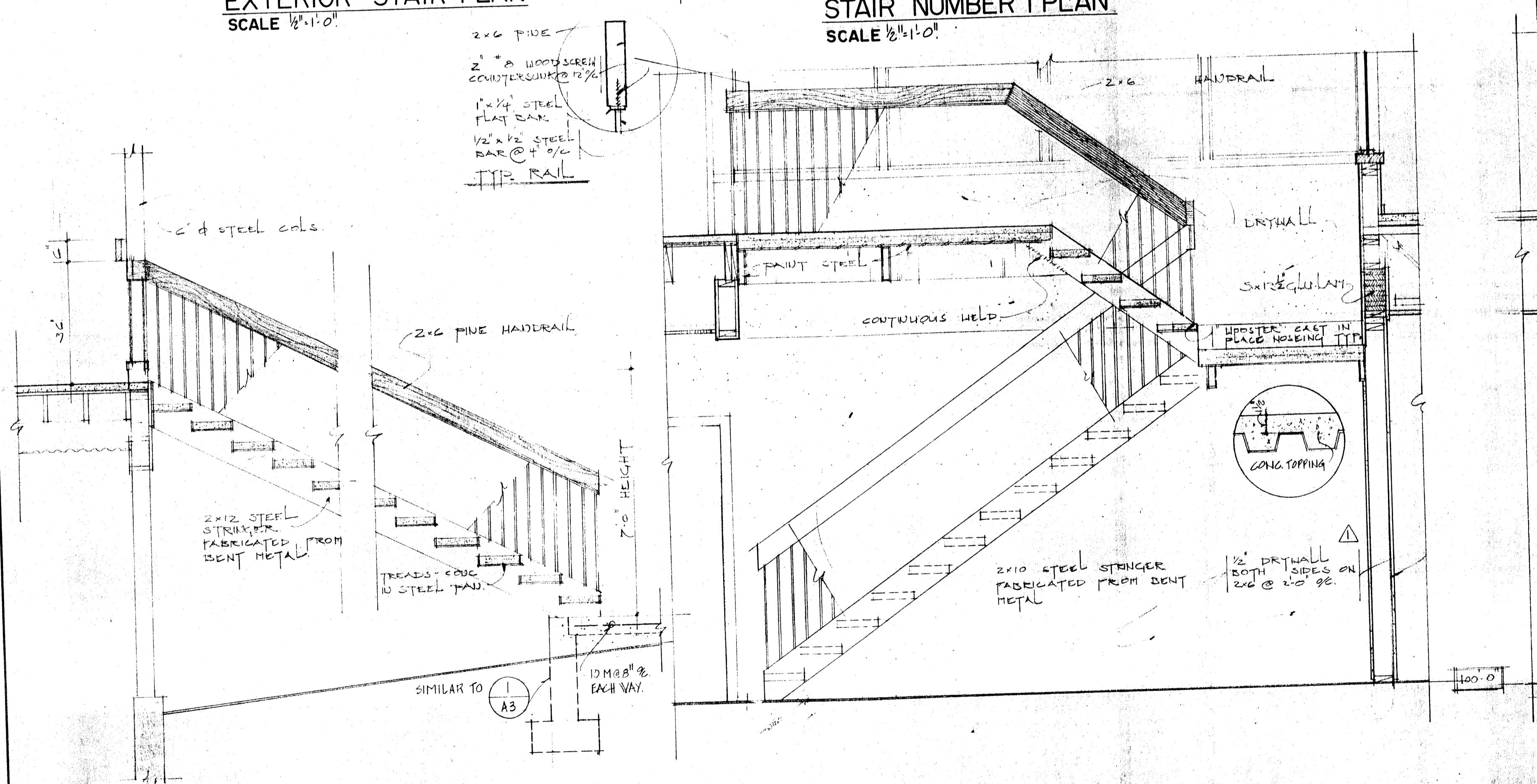
SCALE  $\frac{1}{2}'' = 1'-0''$

2 x 6 PINE

**SCALE**  $\frac{1}{2}'' = 1'-0''$

**STAIR NUMBER I PLAN**

**SCALE  $\frac{1}{2}'' = 1'-0''$**



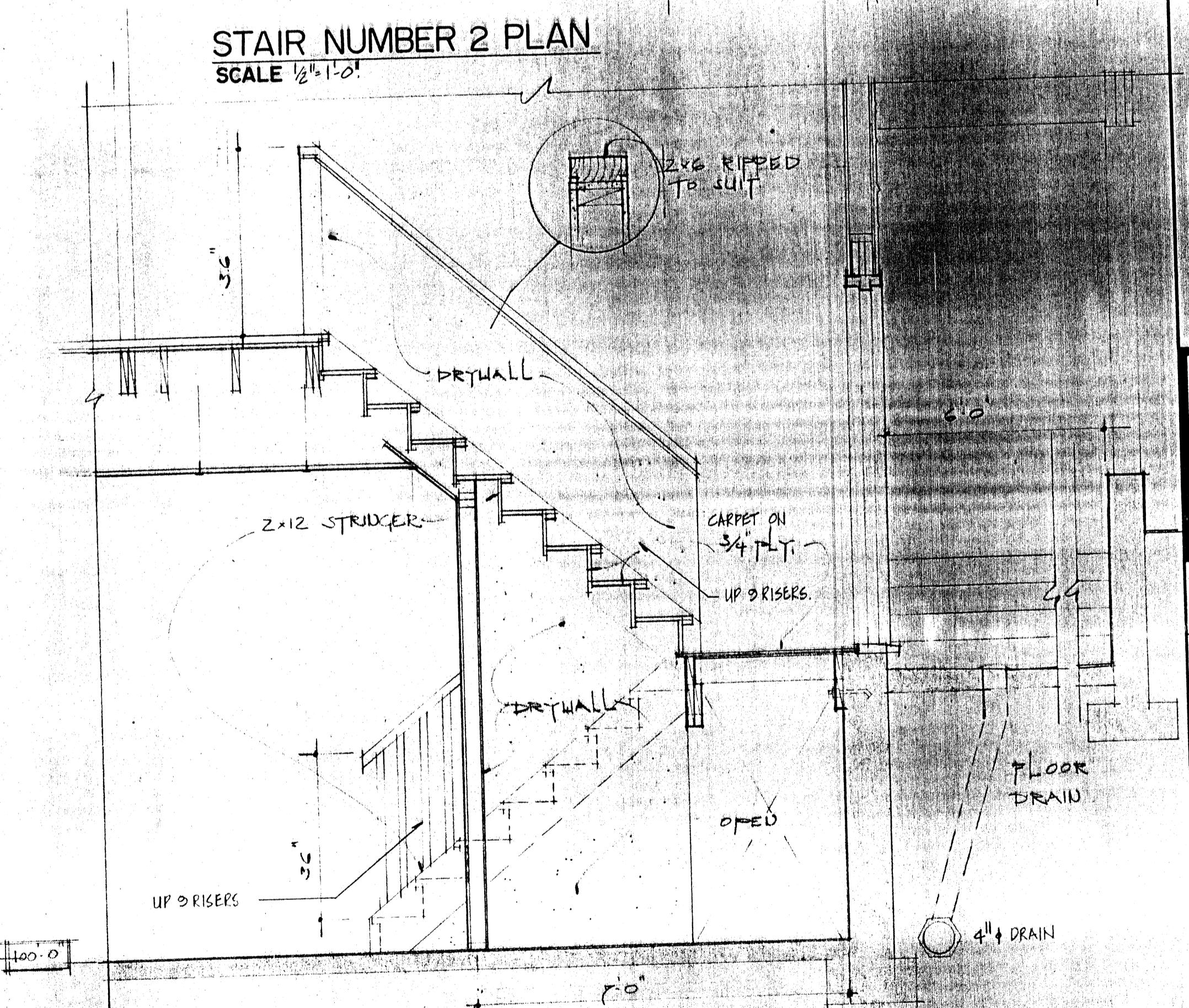
EXTERIOR STAIR SECTION  
SCALE  $\frac{1}{3}$ " = 1'-0".

SCALE 1/2" = 1'-0"

# STAIR SECTION

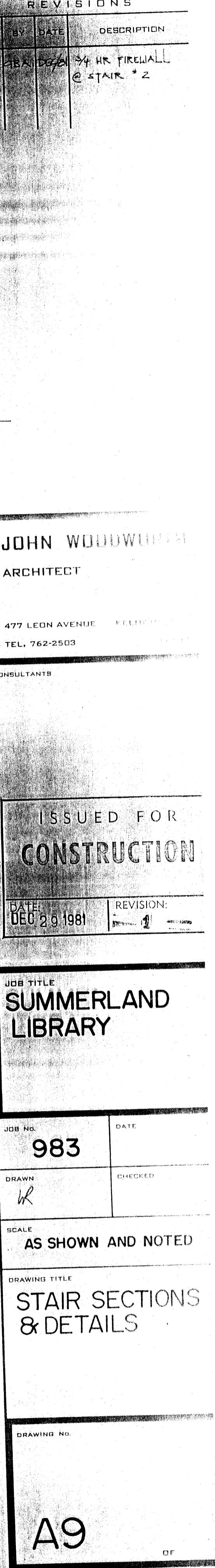
A9 SCALE  $\frac{1}{2}$ " = 1'-0"

\* FABRICATOR TO PROVIDE SHOP DRILLS.

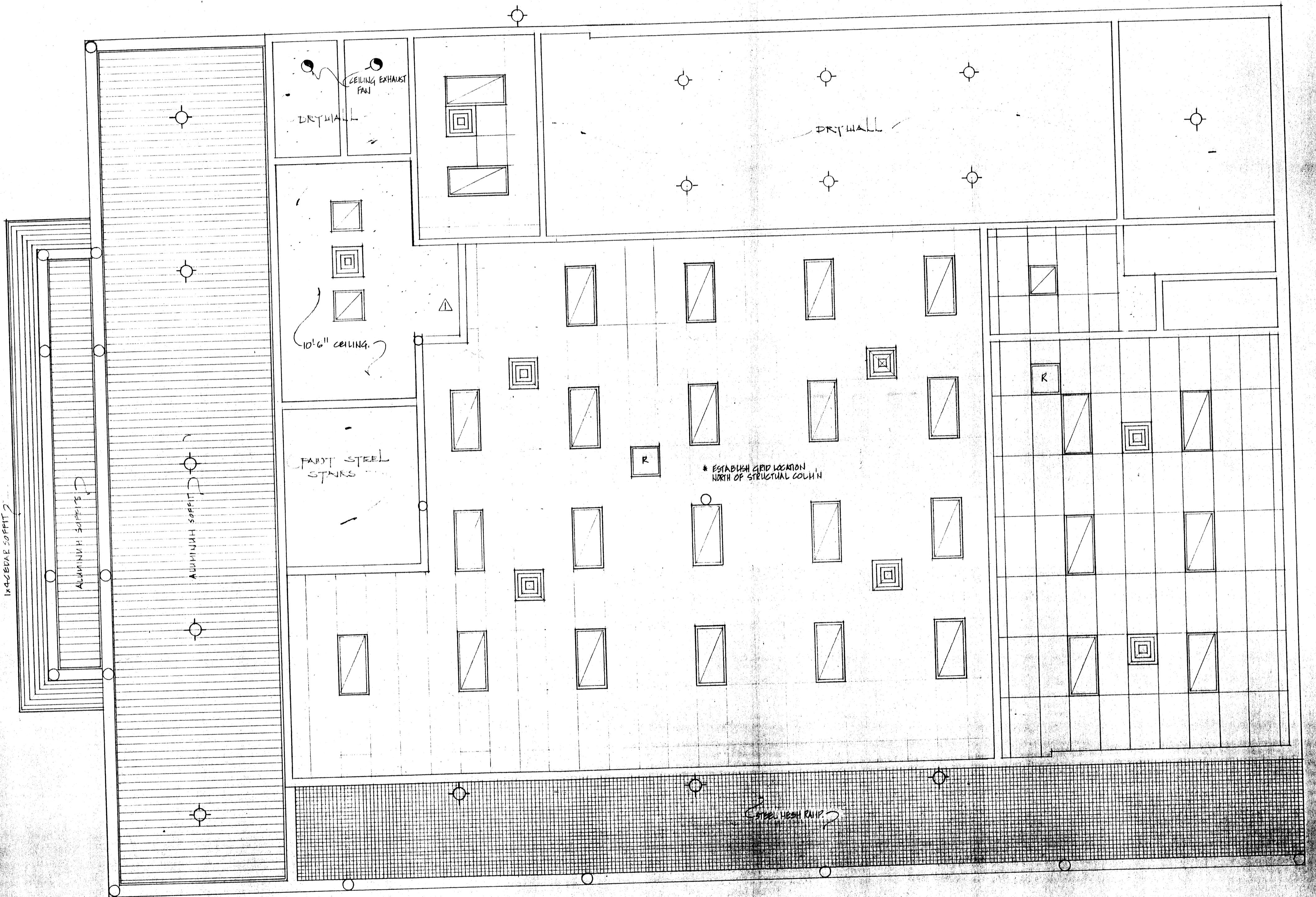


**STAIR SECTION**

A9 SCALE  $\frac{1}{2}$ "



A9



LOWER FLOOR REFLECTED CEILING PLAN

REVISIONS		
NO.	BY	DATE
DESCRIPTION		
△	GBA	DEGAI SPDRY ENTR

**JOHN WOODWORTH**  
ARCHITECT

477 LEON AVENUE KELOWNA, B.C.  
TEL. 762-2503 V1Y 6J4

CONSULTANTS

**ISSUED FOR CONSTRUCTION**

DATE: DEC 29 1981 REVISION: 1

JOB TITLE: SUMMERLAND LIBRARY

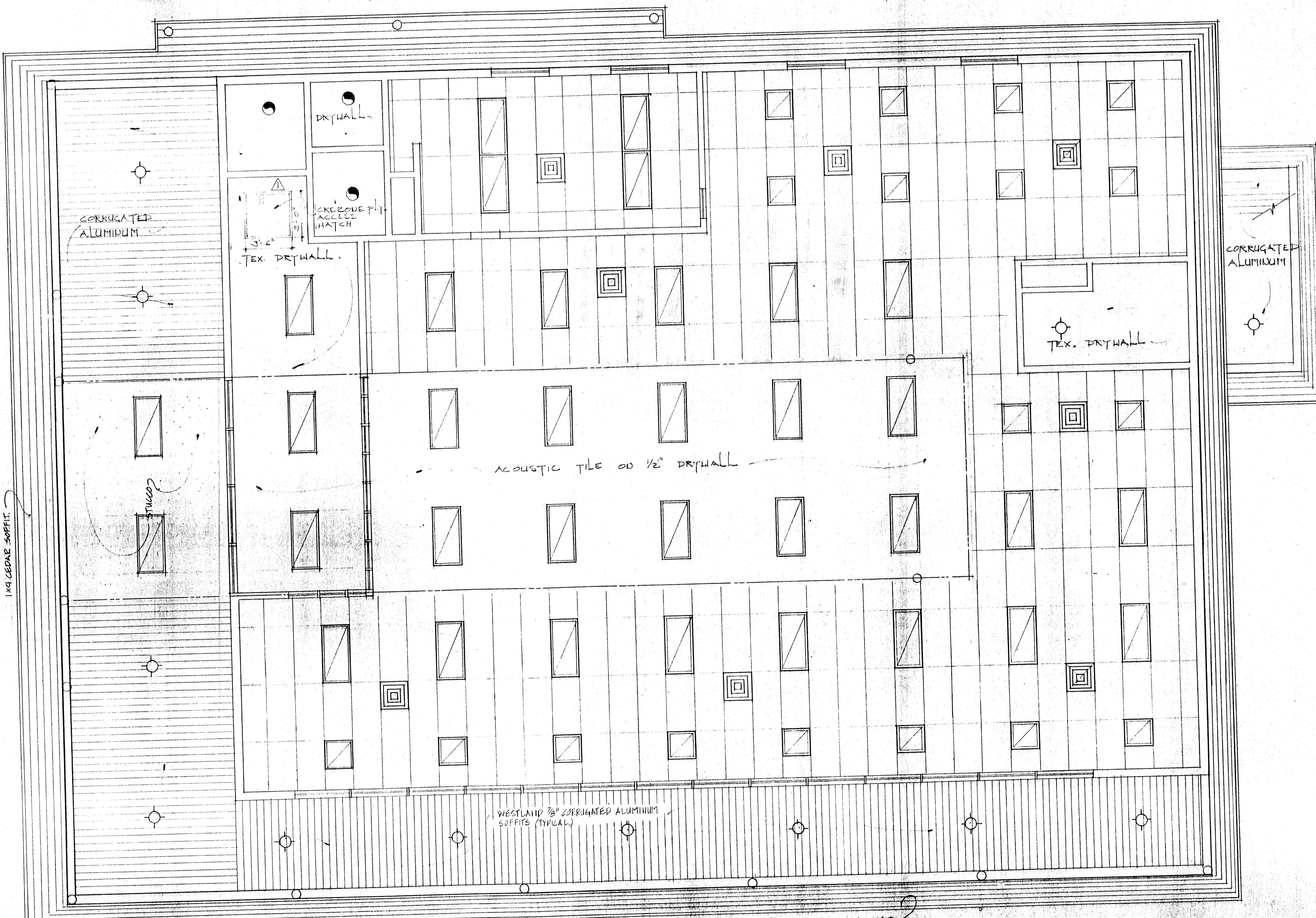
JOB NO. 983 DATE:

DRAWN BY: K CHECKED:

SCALE: 1/4 = 1'-0"

DRAWING TITLE: LOWER FLOOR REFLECTED CEILING

DRAWING NO. A10



UPPER FLOOR REFLECTED CEILING PLAN

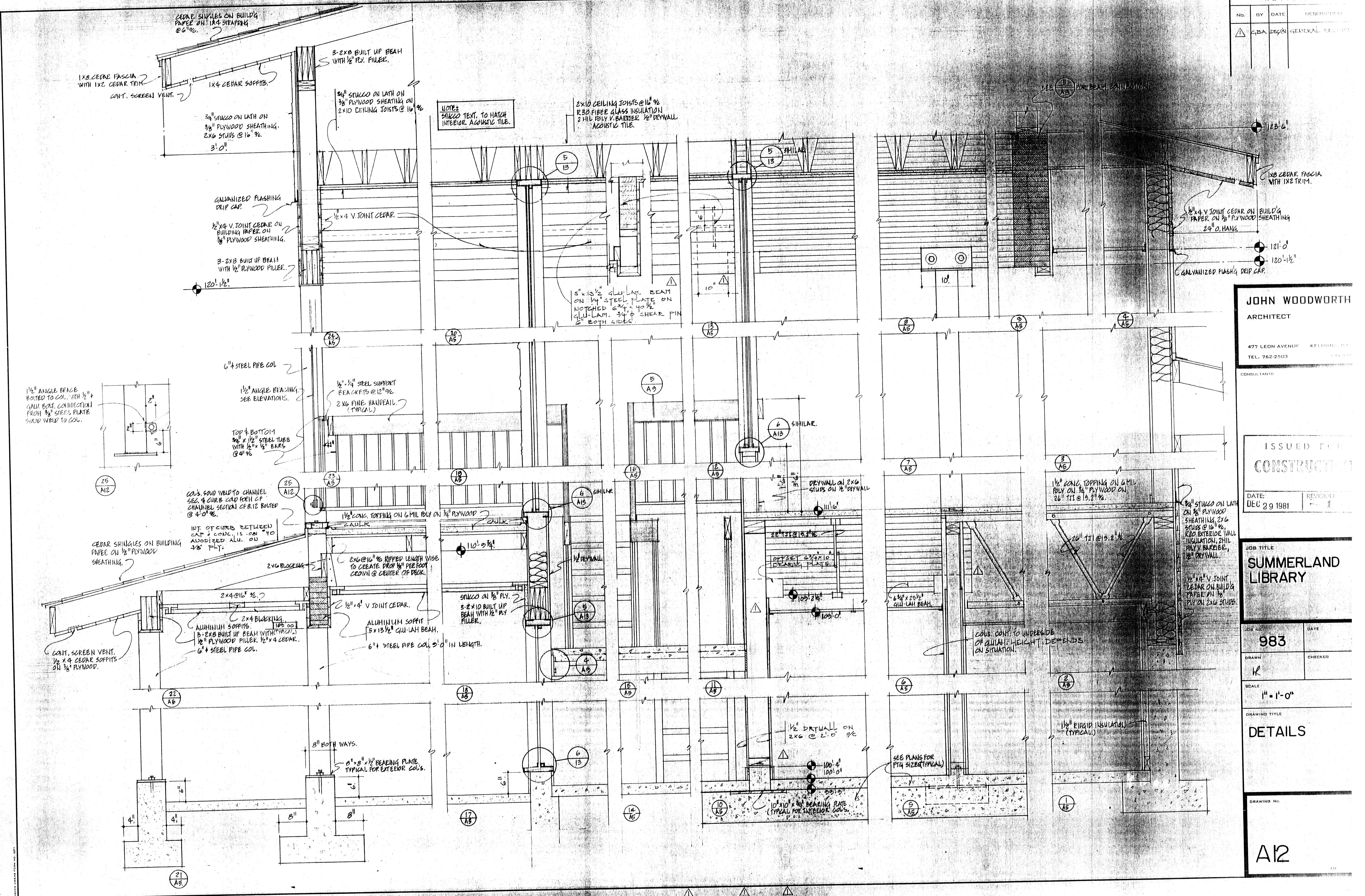
1x4 CEDAR SOFFITS  
(TYPICAL)

WESTLAND 2B CORRUGATED ALUMINUM  
SOFFITS (TYPICAL)

REVISION		
NO.	BY	DATE
S		
DRAWN BY JOHN WOODWORTH		
477 LEON AVENUE KELowna, B.C. TEL. 762-2503 V1Y 6J4		
CONSULTANTS		
ISSUED FOR CONSTRUCTION		
DATE: DEC 29 1981		REVISION: 1
JOB TITLE: SUMMERLAND LIBRARY		
JOB NO. 983		DATE
DRAWN W		CHECKED
SCALE: 1/4" = 1'-0"		
DRAWING TITLE: UPPER FLOOR REFLECTED CEILING		
DRAWING NO. DF		

AII

REVISIONS			
No.	By	Date	Description
△ EBA	DEC/81		GENERAL REVISION



REVISIONS		
BY	DATE	DESCRIPTION

**JOHN WOODWORTH**  
ARCHITECT  
477 LEON AVENUE KELOWNA, B.C.  
TEL. 762-2503 V1Y 6J4

# JOHN WOODWORTH, ARCHITECT

77 LEON AVENUE KELOWNA, B.C.  
511-262-2503 V.I.Y. 614

ISSUED FOR  
**CONSTRUCTION**

DATE: DEC 29 1981 REVISION: 1

**SUMMERLAND  
LIBRARY**

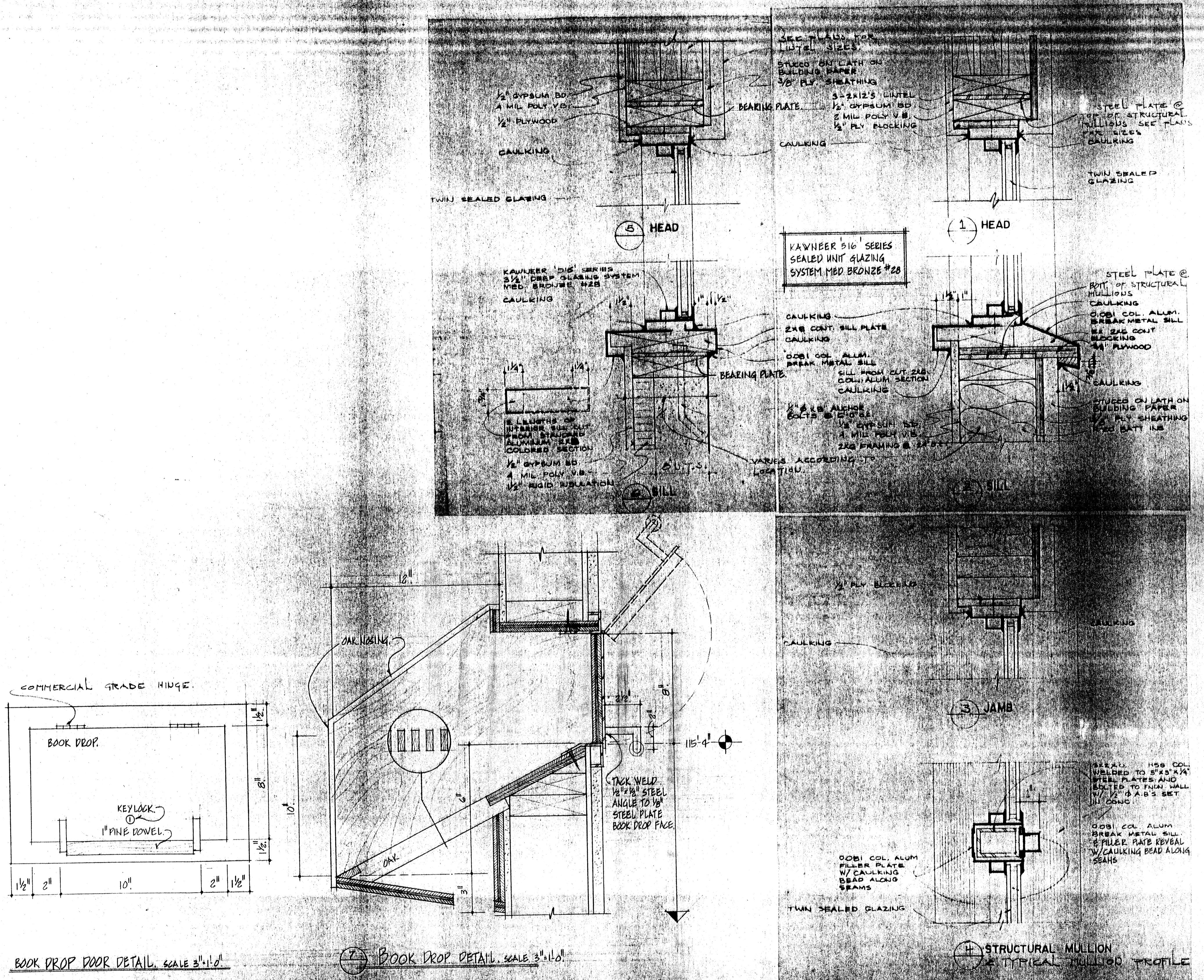
B NO. DATE

**AWN** **CHECKED**

$\frac{1}{4}'' = 1''$

# WINDOW

SEARCHING FOR THE LOST  
21



A-13 OF

NO. BY DATE  
A14

DOOR NUMBER	DOOR SIZE	AUTO. DOOR CL.	DOOR TYPE	FRAME NUMBER	SOLID CORE WOOD	GLAZED SIDELIGHT	HOLLOW CORE WOOD	6mm SAFETY GLASS	WEATHERSTRIPPED	ALUMINUM	REMARKS	DOOR COLOUR
-------------	-----------	----------------	-----------	--------------	-----------------	------------------	------------------	------------------	-----------------	----------	---------	-------------

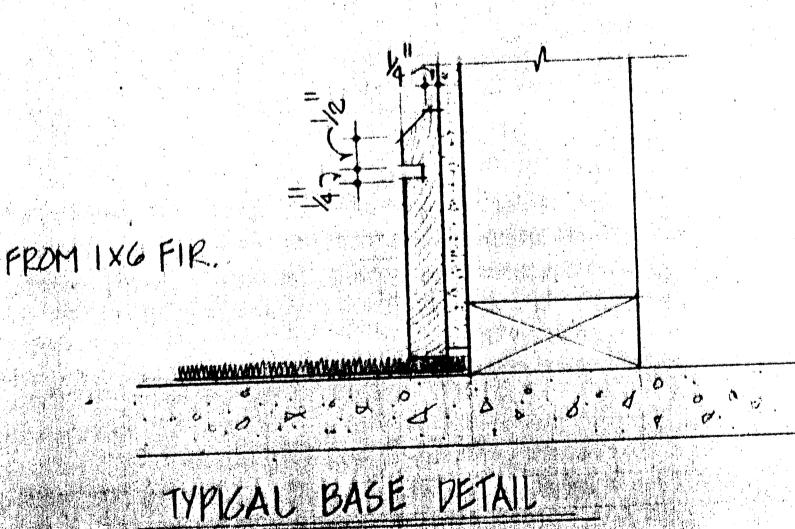
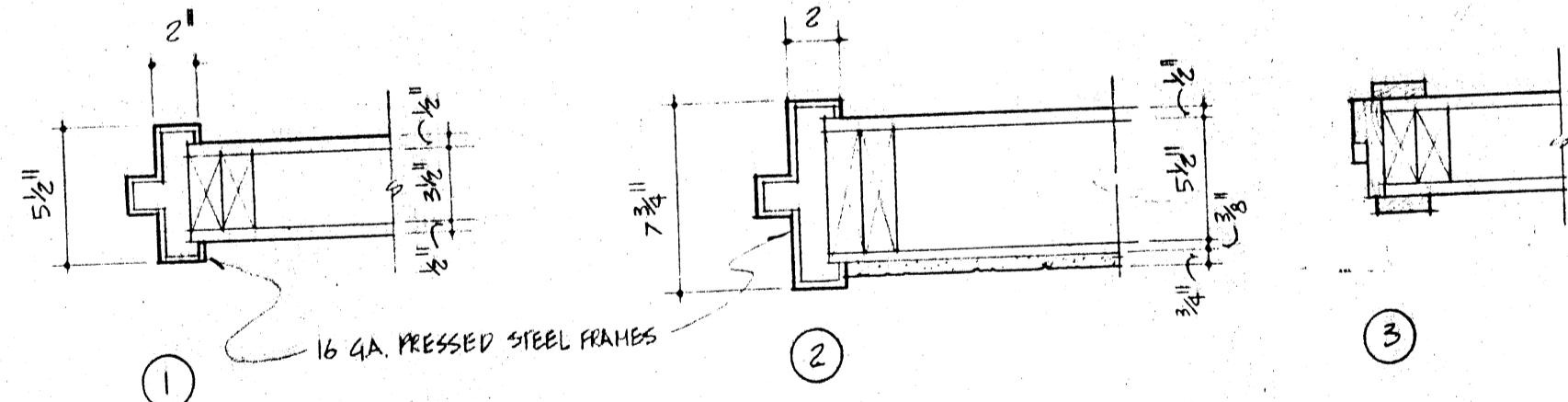
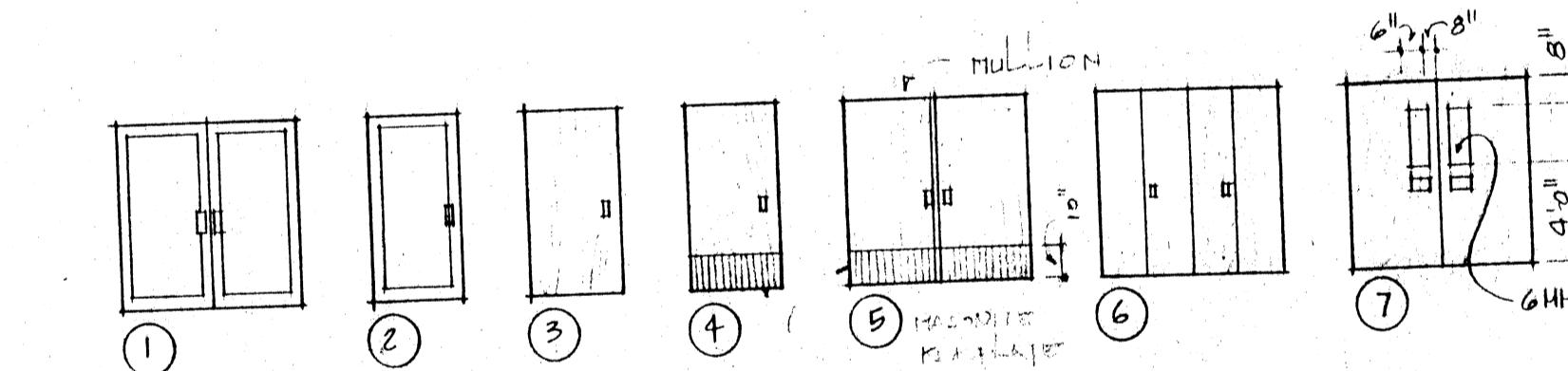
#### LOWER FLOOR PLAN

13	3'0" x 6'8"	●	4 3								KEYLOCK BOTH SIDES 20MM. FIRE RATING:	
14	3'0" x 6'8"		3 3									
15	3'0" x 6'8"		4 3								KEYLOCK STUDIO SIDE, 20 MM FIRE RATING:	
16	3'0" x 6'8"	●	4 3								KEYLOCK STUDIO SIDE, FIRE RATING:	
17	3'0" x 6'8"		4 3								KEYLOCK STUDIO SIDE.	
18	3'0" x 6'8"		3 2	●							KEYLOCK FROM EXTERIOR	
19	2'8" x 6'8"		4 3								PRIVACY LOCK	
20	2'8" x 6'8"		4 3								PRIVACY LOCK	
21	2'8" x 6'8"		3 3								PRIVACY LOCK	
22	6'0" x 6'8"		1 2								KEYLOCK FROM LOBBY	
23	3'0" x 6'8"		2 2								EMERGENCY EXIT HARDWARE	
24	3'0" x 6'8"		2 2								" " "	
25	6'0" x 6'8"		6									
26	6'0" x 6'8"	●	1 2									
27	3'0" x 6'8"	●	2 2									
28	6'0" x 6'8"		1 2									

#### UPPER FLOOR PLAN

1	6'0" x 6'8"		1 2								EMERGENCY EXIT HARDWARE	
2	6'0" x 6'8"		1 2								EMERGENCY EXIT HARDWARE	
3	2'8" x 6'8"		4 3								PRIVACY LOCK	
4	2'4" x 6'8"		3 3								KEYLOCK	
5	2'8" x 6'8"		4 3								PRIVACY LOCK	
6	2'8" x 6'8"		4 3								PRIVACY LOCK	
7	3'0" x 6'8"		3 2	●							KEYLOCK	
8	3'0" x 6'8"		4 3								KEYLOCK	
9	5'0" x 6'8"	●	7 1	●							EMERGENCY EXIT HARDWARE	
10	6'0" x 6'8"		5 2	●							EMERGENCY EXIT HARDWARE	
27	3'0" x 6'8"		2 2								HALF THROU HINGES AS EMERGENCY EXIT HARDWARE	

#### DOOR SCHEDULE



ROOM NAME	No.	FLOOR	BASE		NORTH WALL		EAST WALL		SOUTH WALL		WEST WALL		CEILING		NOTES
			MATERIAL	COL.	MATERIAL	COL.	MATERIAL	COL.	MATERIAL	COL.	MATERIAL	COL.	MATERIAL	COL.	
<b>LOWER FLOOR PLAN</b>															
LOBBY	100	SEAL ZONE.													10'0" FIRE RATED TELEPHONE
HALE LAV.	101W	SEAL ZONE.													
FEHALE LAV.	102W	SEAL CONC.													
OFFICE	103	SEAL CONC.													
STORAGE	104	SEAL CONC.													
STUDIO SPACE	105	SEAL CONC.													
VIDIO ROOM	106	CARPET			WOOD		DRYWALL		DRYWALL		DRYWALL		DRYWALL *		
HALL	107	CARPET			WOOD		DRYWALL		DRYWALL		DRYWALL		DRYWALL *		
FURNACE ROOM	108	SEAL CONC.			WOOD		DRYWALL		DRYWALL		DRYWALL		DRYWALL *		
DECK		EXPOSED AGG.													
<b>UPPER FLOOR PLAN</b>															
ENTRY VESTIBULE	200	EXPOSED AGG.	WOOD		DRYWALL, GLAZE CERAMIC TILE	CERAMIC TILE	DRYWALL		10'0" TEX DRYWALL						
HALE LAV.	201W	CERAMIC TILE	WOOD		CERAMIC TILE	"	DRYWALL		8'0"						
202W		CERAMIC TILE	WOOD		CERAMIC TILE	"	DRYWALL		8'0"						
203W		CERAMIC TILE	"		DRYWALL	"	DRYWALL	"	DRYWALL	"	DRYWALL	"	T-BAR *		8'0"
STAFF LAV.	204	CARPET	"		"	"	"	"	"	"	"	"	T-BAR & ACOUSTIC TUBE ON DRYWALL		8'0"
BOOK STACKS	205	CARPET	"		"	"	"	"	"	"	"	"	ALUMINUM & ST 4000		8'0"
STAIRWELL	206	CARPET	"		"	"	"	"	"	"	"	"	STUCCO TEX TO MARCH ACOUSTIC TILE		
VERANDAH		EXPOSED AGG.	"		"	"	"	"	"	"	"	"			

#### FINISH SCHEDULE

**MATERIALS**  
ALUMINUM SOFFIT - WESTLAND 28" CORRUGATED ALUMINUM FINISH WHITE L-1097  
ACOUSTIC TILE ON DRYWALL - AKSTYLON "SANTERRA DESIGN 582"  
TILE IN T-BAR - AKSTYLON "SECOND LOOK II"  
GLAZING SYSTEM - KAWNEER S16 .3/8" DEEP.

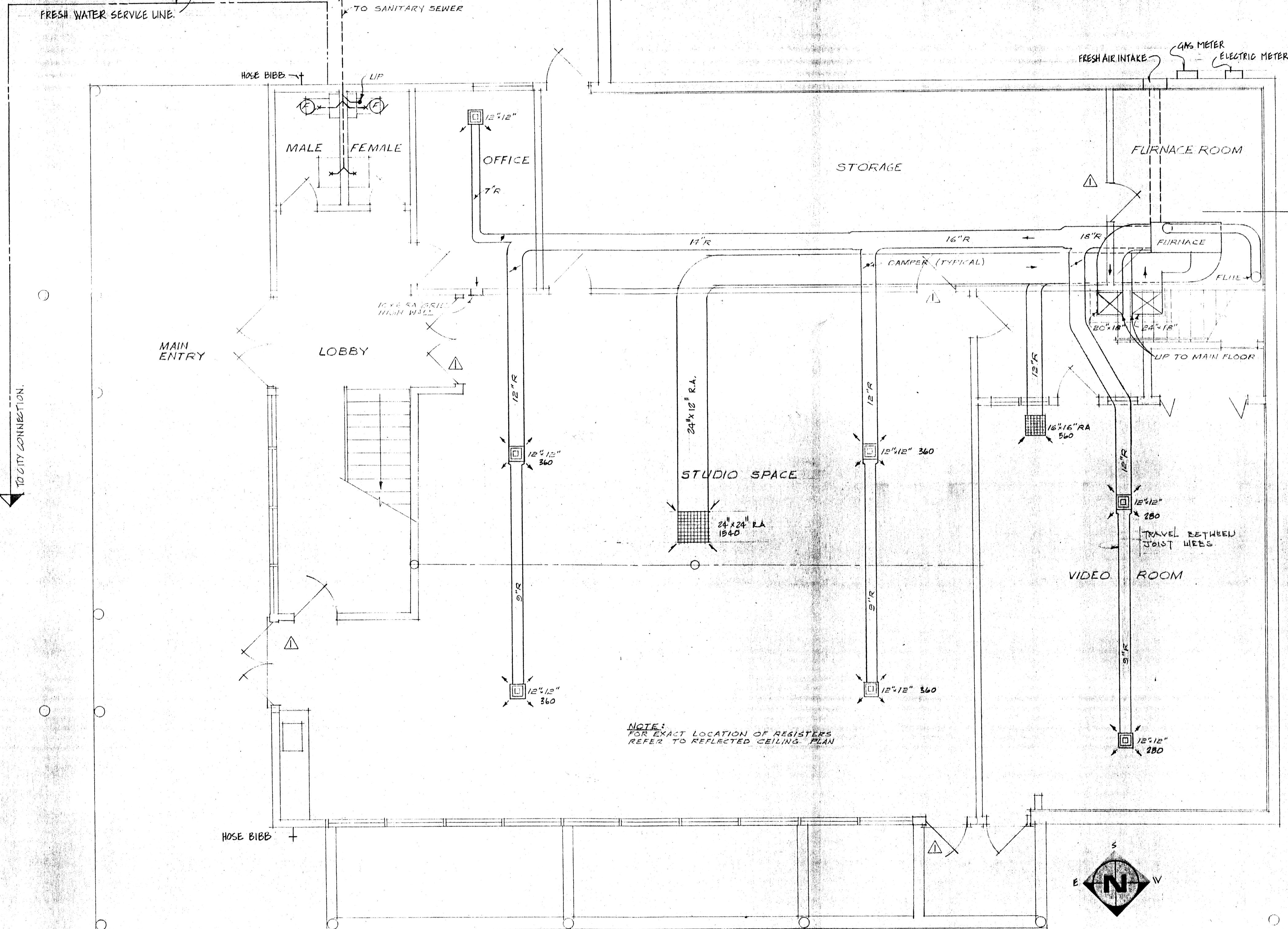
**NOTE 8**  
\* 3/4" HR. FIREPLATING TO ALL CEILINGS AND  
STRUCTURAL WOOD FRAMING.

JOB NO.	DATE
983	
DRAWN	CHECKED
SCALE	
DRAWING TITLE	FINISH & DOOR SCHEDULES
DRAWING NO.	A14

JOHN WOODWORTH  
ARCHITECT  
477 LEON AVENUE KELOWNA, B.C.  
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CONSULTANTS

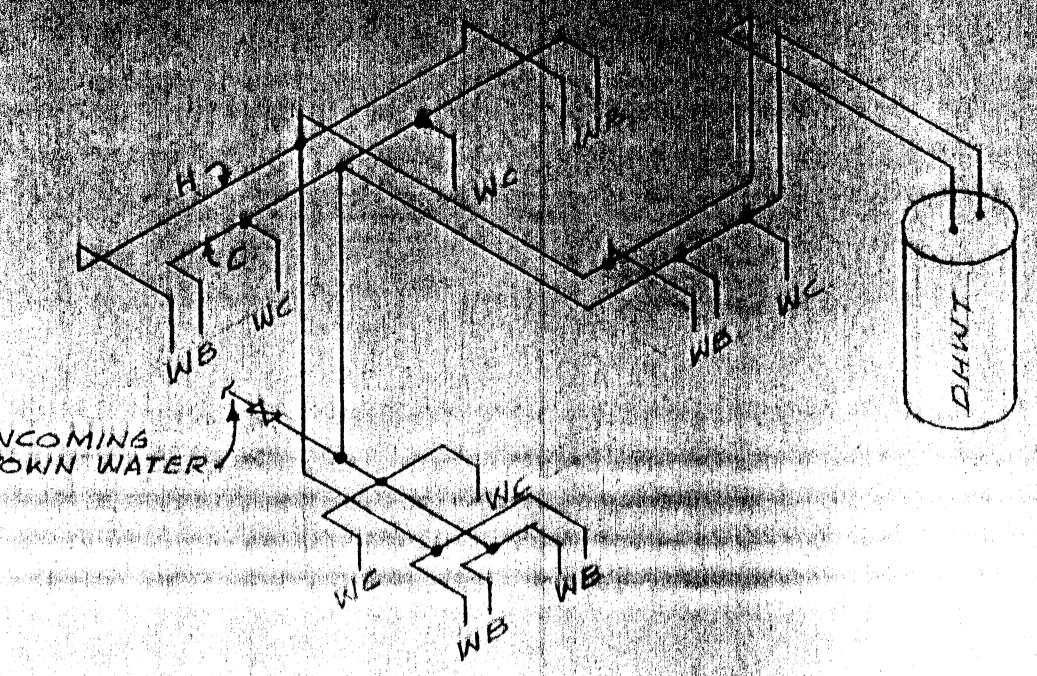
JOB TITLE  
SUMMERLAND  
LIBRARY

OF



## LOWER FLOOR PLAN

SCALE:- 1/4" = 1'-0'



PLUMBING SCHEMATIC  
(VENTS, SEWER NOT SHOWN)

# JOHN WOODWARD

## ARCHITECT

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**CONSTRUCTION**

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SUMMERLAND

B. No. 993 DATE Oct 19

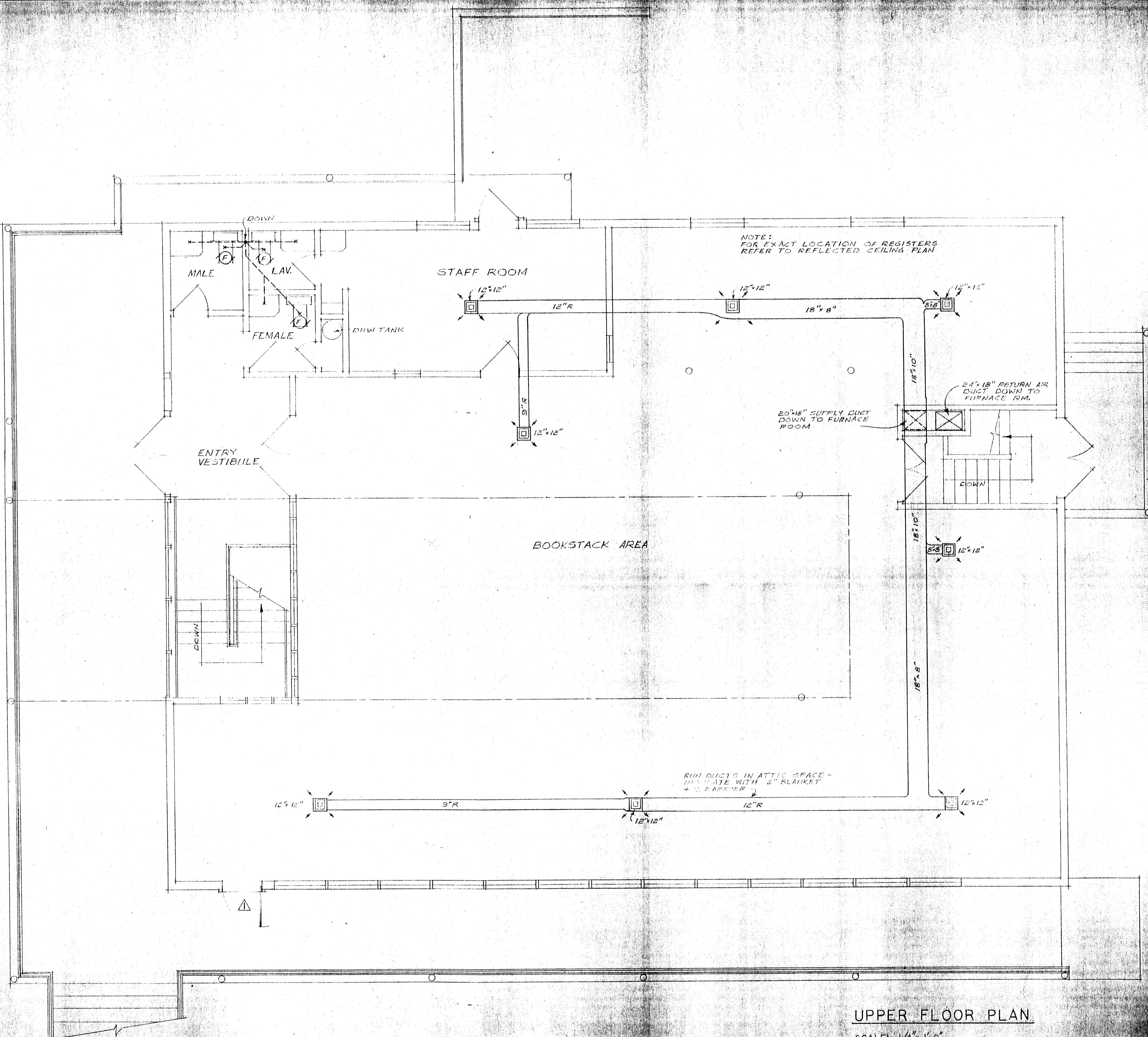
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*B.C. No. 1*

DRAWING TITLE  
OWER FLOOR  
LAN  
ECHANICAL  
AXOUT

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REVISIONS			
No.	BY	DATE	DESCRIPTION
1	ABA	DEC/81	ADDITIONAL LINES



# **JOHN WOODWORTH**

## **ARCHITECT**

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DATE: DEC 29 1981 | REVISION E  
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**LIBRARY**

R. NO.	847
AWN	CHECKED

**SALE**  
**S. NOTED**

AWING TITLE  
UPPER FLOOR  
PLAN  
MECHANICAL  
AYOUT

**DRAWING NO.**

M2

#### MECHANICAL SPECIFICATIONS

1. The Contractor shall provide all equipment, materials, tools, labour, scaffolding, etc., required to complete the installation. The work shall be performed in a neat and workmanlike manner following normal trade practices. The contractor shall include testing, balancing and commissioning as may be required to hand over to the Owner a satisfactory system free from defects.
2. The entire installation shall comply with the current requirements of all Authorities having jurisdiction. The Contractor shall apply for, obtain and pay for all permits, fees, drawing approvals, inspections, etc.
3. The Contractor shall guarantee the performance of the entire installation for a period of one year commencing at the time of acceptance by the Owner. Any defects occurring during this period shall be promptly rectified by the Contractor at no cost to the Owner. This guarantee shall apply to and include failures of equipment and materials supplied by the Contractor.
4. All ducts run in non-conditioned (heated and/or cooled) spaces shall be insulated to R14 minimum. The external surface of such insulation shall be protected with a canary jacket. (Or other suitable material).
5. All diffusers and registers to be equipped with adjustable volume dampers. The Contractor shall adjust air volumes as closely as possible to match those shown on the drawings and he shall provide a marked up print showing actual measured volumes and velocities.
6. The Contractor shall provide plumbing vents, traps, clean-outs, water pressure reducing station, hot water safety blow-offs, etc., as required. These and similar items may not be shown on the drawings.
7. Gas piping, metering equipment, gas fired equipment vents and chimneys shall comply with the Natural Gas Code and I.N.G. The Contractor shall pay all fees and other costs in connection with the obtaining of gas services.
8. Unless specifically excluded elsewhere, the mechanical contract shall include:
  - a) All trenching and backfilling including the removal from the site of all unsuitable excavated material and its replacement with material suitable for backfill.
  - b) Concrete slabs.
  - c) Structural supports, pipe, duct and equipment hangers.
  - d) All cutting, patching and painting associated with the installation of mechanical equipment and materials.
  - e) All electric wiring, materials and equipment associated with the mechanical installation which operate at voltages less than 100.
  - f) All electrical controls operating at voltages over 100 where such controls are associated with mechanical equipment. Such controls to be installed and wired by electrical contractor.
  - g) Sewage disposal system consisting of a 600 gallon tank and 150 linear feet of drain field, confer with the Corporation of the District of Summerland for further details.

#### SCOPE OF WORK

The contract shall include the following sections of work:

1. Provide a gas fired forced air furnace with spool piece sized to accommodate a future cooling coil. Furnace to be equipped with blower sized for future cooling.
2. Provide an air conditioning duct system consisting of plenums, ducting, registers, grilles, diffusers, volume dampers, fresh air intake.
3. Provide a domestic hot and cold water system consisting of connections to Town of Summerland main, P.R. Station (if needed), gas fired domestic hot water tank, basins, all associated piping.
4. Provide a sanitary sewer system consisting of connections to the Town of Summerland main, WCs, urinals, vents, clean-outs, etc.

#### ELECTRICAL SPECIFICATIONS

1. The Contractor shall provide all equipment, materials, tools, labour, scaffolding, etc., required to complete the installation. The work shall be performed in a neat and workmanlike manner following normal trade practices. The contractor shall include testing and commissioning as may be required to hand over to the Owner a satisfactory system free from defects.
2. The entire installation shall comply with the current requirements of all Authorities having jurisdiction. The Contractor shall apply for, obtain and pay for all permits, fees, drawing approvals, inspections, etc.
3. The Contractor shall guarantee the entire installation for a period of one year commencing at the time of acceptance by the Owner. Any defects occurring during this period shall be promptly rectified by the Contractor at no cost to the Owner. This guarantee shall apply to and include failures of equipment and materials supplied by the Contractor.
4. All electrical equipment and materials shall be CSA approved or shall bear the approval stamp of the B.C. Electrical Safety Branch.

#### SCOPE OF WORK

The contract shall include the following sections of work:

1. Provide a 200 ampere, 208Y/120 volt, 3 phase, 4 wire service underground from the nearest service pole - make all arrangements with and pay necessary fees to the Town of Summerland for this work.
2. Provide a complete power, lighting, and distribution system, in accordance with the intent of the drawings.
3. Provide all electric wiring, materials and equipment associated with the mechanical installation which operate over 100 volts. (Note: controls over 100 volts associated with mechanical equipment will be supplied by the mechanical contractor and wired and installed by the electrical contractor).
4. Provide and install a fire alarm system.

PARTIAL BILL OF MATERIALS - MECHANICAL				
SYMBOL	QTY	DESCRIPTION	MANUFACTURER	MODEL OR CAT. NUMBER
	1	NATURAL GAS FIRED, FORCED AIR FURNACE, 176,000 BTUH, C/WITH 2 HP DRIVE MOTOR & PULLEY TO SUPPLY 4600 CFM @ 0.16 S.F.L. UNIT TO OPERATE ON 208/3/60 HZ, UNIT TO BE SUITABLE FOR FUTURE COOLING.	LENNOX	681-220T
	1	SPROOLED PIECE TO MATCH SIZE OF LENNOX CE-135V UPFLOW EVAPORATOR MOUNT BETWEEN FURNACE TOP & PERMANENT DUCTWORK	—	—
DO NOT ORDER		EVAPORATOR TO MATCH LENNOX 681-220T FURNACE, 11 TONS COOLING CAPACITY.	LENNOX	CE-135V
DO NOT ORDER		CONDENSING UNIT, 104,000 BTUH CAPACITY, MATCHED WITH LENNOX CE-135V EVAPORATOR, UNIT TO OPERATE ON 208/3/60 HZ POWER	LENNOX	HSG-1353V
(P)		CEILING EXHAUST FAN, 50 CFM, 4.5 SONES MAXIMUM, C/W TIME CONTROL SWITCH.	PRYNE (GESCAN)	V-229 (FAN) SW681 (SWITCH)
DHWT	1	BOILER, GLASS LINED, NATURAL GAS FIRED, HOT WATER TANK, RECOVERY 30.5 USGPH - 100°F RISE	RUUD	EH30-30T

REVISIONS			
NO.	BY	DATE	DESCRIPTION

JOHN WOODWORTH  
ARCHITECT

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CONSTRUCTION  
DATE: DEC-1 1981  
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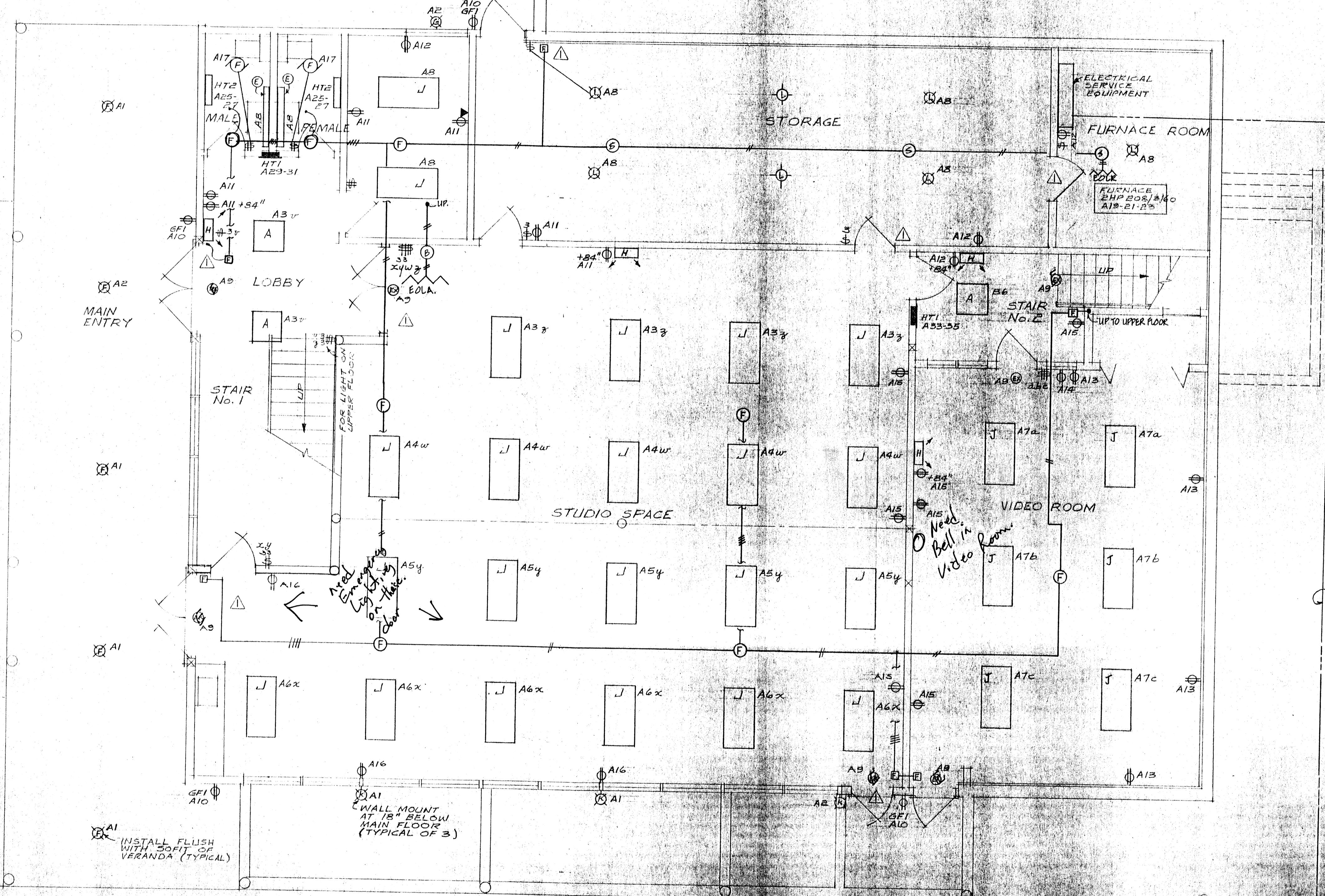
JOB TITLE  
SUMMERLAND  
LIBRARY

NOTES	
1	RULTING OF GAS FIRED EQUIPMENT FLUES TO BE CLEARED BEFORE PROCEEDING.
2	ALL DUCTS RUN IN NON CONDITIONED SPACES TO BE BLANKET INSULATED WITH 2" MATERIAL PLUS VAPOUR BARRIER.
3	UPPER FLOOR RETURN AIR IN CEILING SPACE THROUGH LIGHT FIXTURE SLOTS.
4	PROVIDE SUITABLE SLAB FOR FUTURE CONDENSER - SEE ARCHITECT FOR LOCATION.
5	PROVIDE CONDENSATE DRAINS FOR FUTURE COOLING EQUIPMENT. TEE INTO NEAREST CONVENIENT DRAIN. ENSURE FREEZING CAN NOT OCCUR.
6	SUPPLY PLUMBING FIXTURES IN ACCORDANCE WITH ARCHITECTURAL SCHEDULES.

JOB NO. 983 DATE OCT. '81  
DRAWN BY CHECKED  
SCALE NTS

DRAWING TITLE  
MECHANICAL  
SCHEDULES

DRAWING NO. M3  
DF



## LOWER FLOOR PLAN

SCALE := 1/4" = 0'

## PHOTOCELL CONTROL CIRCUITS A1, B1

NTS

E PHOTOCELL  
ON N. FACE  
BUILDING.  
(L OF E)

## PHOTOCELL CONTROL CIRCUIT A2

NTG

## SINGLE LINE DIAGRAM

NTS

## ER GROUND ELECTRICAL

VICE.

# JOHN WOODWORTH

## ARCHITECT

LEON AVENUE KELOWNA, B.C.  
762-2503 VIV 644

1000 1000 1000 1000 1000 1000 1000 1000 1000 1000

**Thompson, Son & Associates**  
R.R. 1, Peachland, B.C. V0H 1X0  
(604) 767-9333

ISSUED FOR  
CONSIDERATION

A black and white photograph of a rectangular library stamp. The stamp has a double-line border. Inside, the word "CITY" is at the top, followed by "LIBRARY" below it. In the center, the date "29-1981" is stamped. To the right of the date is a large, bold letter "B". The stamp is mounted on a light-colored surface.

1983	DATE OCT '81
CM	CHECKED

**TITLE**  
**WER FLOOR**  
**N**  
**CTRICAL**  
**CUT**

No. 1  
3  
OF

REVISIONS			
NO.	BY	DATE	DESCRIPTION
A	GSA DEC 1	GENERAL REVISION	

JOHN WHITWELL  
ARCHITECT

477 LEON AVENUE KELowna  
TEL. 762-2503

CONSULTANTS

W. J. Thompson, Son & Associate  
R.R. 1, Peachland, B.C., V0H 1X0  
(604) 767-9333

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CONSTRUCTION

DATE: DEC 29 1981 | REVISION: 1

JOB TITLE  
SUMMERLAND  
LIBRARY

JOB No. 983 DATE OCT. '81

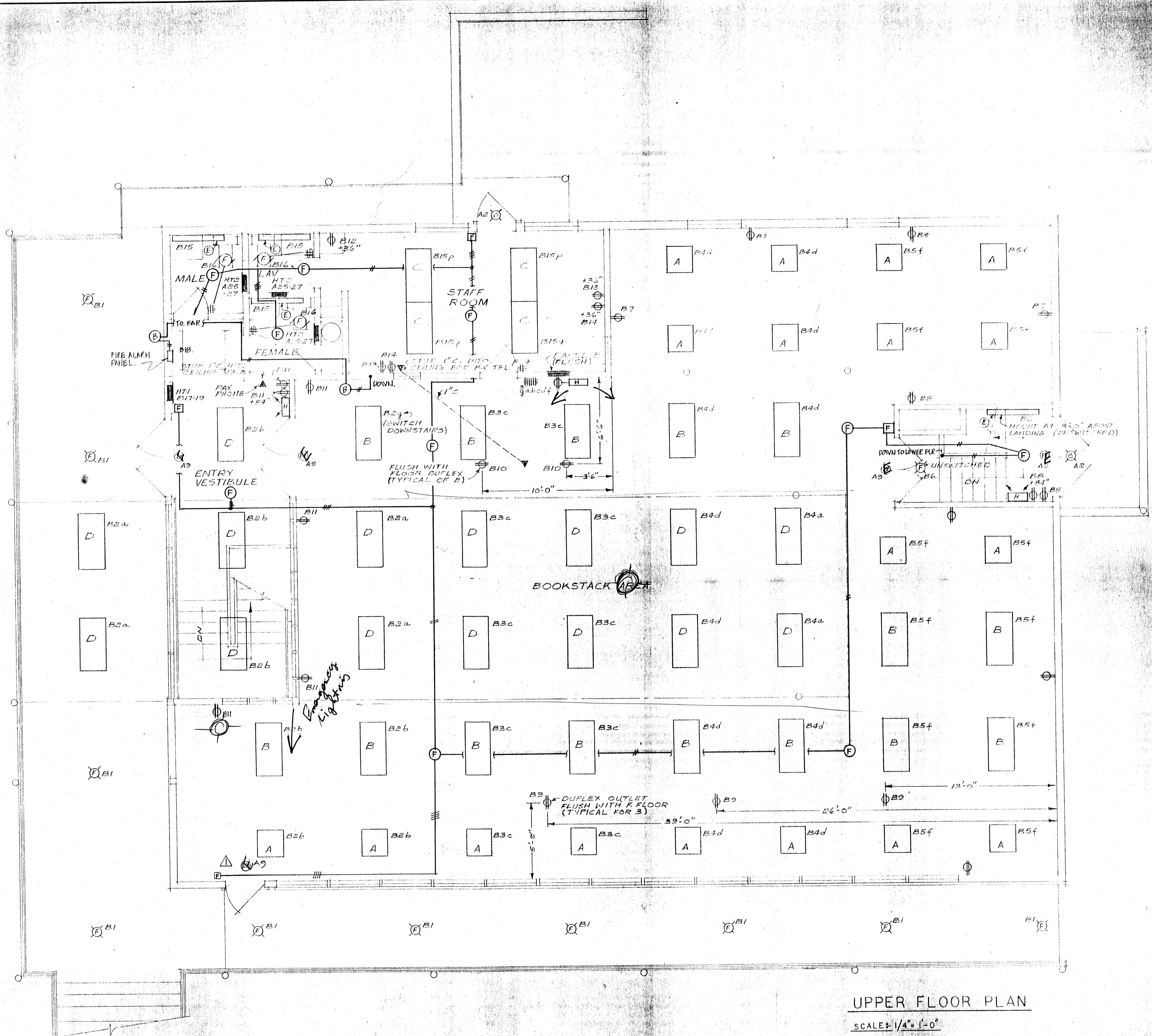
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SCALE AS NOTED

DRAWING TITLE  
UPPER FLOOR  
PLAN  
ELECTRICAL  
LAYOUT

DRAWING NO. E2

DF



UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTES	
1	PROVIDE METERING ARRANGEMENTS AS REQUIRED BY THE TOWN OF SUMMERLAND. ADJUST ONE LINE DIAGRAM AS REQUIRED.
2	FOR UNDERGROUND SERVICE, CONTRACTOR MAY USE RIGID PVC CONDUIT OR PEX CABLE FOR THE SUIT UTILITY REQUIREMENTS.
3	SERVICE PANELS ARE SUITABLE FOR 10,000 AMPERES RMS. MAXIMUM CONTRACTOR SHALL CONFIRM TOWN OF SUMMERLAND'S SUPPLY AT POINT OF ENTRY TO BUILDING AND NOT EXCEED THIS VALUE.
4	CONTRACTOR SHALL INSTALL EMPTY CONDUIT FROM NEAREST DIAL TELEPHONE CONNECTION TO CEILING SPACE WITHIN BUILDING. SIZE, ROUTING & TERMINUS OF CONDUIT PER B.C. TELEPHONE REQUIREMENTS.
5	ALL FLUORESCENT TUBES TO BE WARM WHITE. FLUORESCENT FIXTURES LOCATED IN UNHEATED AREAS TO BE FITTED WITH LOW TEMPERATURE BALLASTS. ALL BALLASTS TO BE H.R.
6	ALL INCANDESCENT LAMPS TO BE ROUGH SERVICE.
7	PANEL DIRECTORIES ARE TO BE TYPEWRITTEN.
8	ALL RECEPTACLES & WALL SWITCHES SHALL BE SPECIFICATION GRADE.
9	CONFIRM HEIGHT OF WALL RECEPTACLES IN BOOK STACK AREA WITH OWNER

PARTIAL BILL OF MATERIALS - ELECTRICAL			
SYMBOL QTY	DESCRIPTION	MANUFACTURER	MODEL OR CAT. NUMBER
A	FLUORESCENT FIXTURE, 2'x2' PAN, 2-40 WATT 120V, C/W RETURN AIR SLOTS - FOR TEE BAR	ELECTRO-LIER	K19A-106-B10-U
B	FLUORESCENT FIXTURE, 2'x4' PAN 2-40 WATT 120V, C/W RETURN AIR SLOTS - FOR TEE BAR, LAY-IN LENS 5/32" THICK	ELECTRO-LIER	K19A-106-
C	AS PER B EXCEPT 4-40 WATT		K19A-106-448
D	FLUORESCENT FIXTURE, 2'x4' SURFACE MOUNT, 2-40W, 120VOLT, C/W ACRYLIC, DROP DISH LENS.	C&M	CO-7424-4
E	FLUORESCENT FIXTURE, 1-40W, 120V, WALL MOUNT	ELECTRO-LIER	KACB-100-148
EX	EXIT SIGN, UNIVERSAL TYPE, 120V.	C&M	X2
F	INCANDESCENT FIXTURE, 120V, 100 WATTS, 12" x 12" DROPPED OPAL LENS,	ELECTRO-LIER	ROLL-10-D ORDER WITH PLASTER RING OR TO SUIT CEILING TYPE
G	M/V, WALL BRACKET, OPAL LENS, 120V, 125 WATTS	ELECTRO-LIER	ME-550-125
H	EMERGENCY PACK 2 LIGHT - 1.5 HRS. OPERATION	EXIDE	MG-2
J	FLUORESCENT FIXTURE, 2'x4', 4-40 WATT RS, 120V, FOR TEE BAR - LAY-IN LENS 5/32" THICK	ELECTRO-LIER	K19A-5B-448
K	INCANDESCENT, 120VOLT, 200 WATT, AES LAMP, WALL MOUNT	ELECTRO-LIER	B20
L	4" PORCELAIN OUTLET BOX RECEPTACLE C/W 100W LAMP	SMITH & STONE	1-1353
FAP	FIRE ALARM PANEL, NBC TYPE I, SINGLE ZONE G/N STANDBY BATTERY	EDWARDS	1527
[F]	FIRE ALARM STATION.	EDWARDS	2705P0
(F)	THEMAL FIRE DETECTOR, 20HB, FIXED T + ROR 135°F	EDWARDS	353 SERIES
(S)	SHOCK DETECTOR	EDWARDS	6350
HT1	ELECTRIC FAN FORCED WALL HEATER, 4000 WATTS, 208Y/1160 C/W THERMOSTAT	FPE	FAZT-408
HT2	ELECTRIC RADIANT WALL HEATER C/W THERMOSTAT, 1500 WATTS, 208Y/1160	FPE	RT-500-8
PANEL A	PANELBOARD, 200 AMP MAINS, 42 CCFS, SURFACE MOUNT, 3-PHASE 4 WIRE, 208Y/120 VOLTS, C/W CIRCUIT BREAKERS	FPE	STAB-LOK
PANEL B	PANELBOARD, 100 AMP MAINS, 24 CCFS, FLUSH MOUNT, 3-PHASE 4 WIRE, 208Y/120 VOLTS, C/W CIRCUIT BREAKERS	FPE	STAB-LOK
(B)	FIRE BELL 10" 24VAC USE WITH #349 BOX FOR EXTERIOR USE.	EDWARDS	6100D
CODE	END OF LINE RESISTOR.	EDWARDS	—

PANEL A	
208Y/120V	
1000 LTS. EXTERIOR, N.E., LOWER LEVEL	15 1
1000 LTS. STUDIO E.	15 2
1128 LTS. STUDIO N.	15 3
1128 LTS. VIDEO ROOM	15 4
REC. LOBBY, OFFICE, STUDIO S, STORAGE	15 5
REC. VIDEO ROOM-E, STUDIO W, STAIR E, WASHROOM FANS (2)	15 6
REC. VIDEO ROOM-S,N,W	15 7
REC. VIDEO ROOM-E, STUDIO W, STAIR E, WASHROOM FANS (2)	15 8
REC. STUDIO N.	15 9
REC. STUDIO N.	15 10
REC. OFFICE, STORAGE, FURNACE ROOM	15 11
REC. VIDEO ROOM-S.	15 12
REC. VIDEO ROOM-S.	15 13
REC. STUDIO N.	15 14
REC. STUDIO N.	15 15
REC. STUDIO N.	15 16
REC. STUDIO N.	15 17
REC. STUDIO N.	15 18
REC. STUDIO N.	15 19
REC. STUDIO N.	15 20
FURNACE 208Y/160	15 21
FURNACE 208Y/160	15 22
FURNACE 208Y/160	15 23
2000 WASHROOM HEATERS (5)	15 24
4000 HEATER AT EAST ENTRANCE LOWER FLOOR	15 25
4000 HEATER AT STAIR 2	15 26
SPACE	15 27
SPACE	15 28
SPACE	15 29
2000 WASHROOM HEATERS (5)	15 30
4000 HEATER AT EAST ENTRANCE LOWER FLOOR	15 31
4000 HEATER AT STAIR 2	15 32
SPACE	15 33
SPACE	15 34
SPACE	15 35
SPACE	15 36
SPACE	15 37
SPACE	15 38
SPACE	15 39
SPACE	15 40
SPACE	15 41
SPACE	15 42
FUTURE CONDENSER 65 AMPS, 208Y/160	15 43
FEED TO PANEL B	15 44

PANEL B	
208Y/120V	
1000 LTS. EXTERIOR N.E., LOWER FLOOR	15 1
1000 LTS. BOOK AREA CENTRE	15 2
1000 LTS. BOOK AREA S.W.	15 3
1000 LTS. BOOK AREA S.W.	15 4
REC. BOOK AREA S.W.	15 5
REC. BOOK AREA S.W.	15 6
REC. FLOOR N	15 7
REC. ENTRY, BOOK AREA E	15 8
REC. STAFF ROOM N.W.	15 9
LTS. STAFF ROOM, WASHROOMS	15 10
4000 HEATER AT EAST ENTRANCE	15 11
4000 HEATER AT EAST ENTRANCE	15 12
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